



October 15, 2018

ATTN: Mr. Scott Weeks, Zoning Administrator  
125 West North Street  
Canton, MS 39046

RE: Special Exception of C-2 Property located at 358 Church Road  
Madison, MS 39110

Dear Mr. Weeks:

Attached, you will find a series of documents pertaining to a Special Exception request to construct a Class-A Self-Storage facility within Madison County. This facility will be owned and developed by Maverick Park, LLC and will operate under the name of StorageMax Germantown, to be part of the StorageMax Family.

Attached herein you will find a site plan, elevations, renderings, as well as other documents requested for the Special Exception Application.

We look forward to working with the Madison County Planning and Zoning Department, Zoning Board, and Board of Supervisors to proceed with the new development.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Lloyd", written over a horizontal line.

Robert L. Lloyd  
Storage Park Development, CEO

A handwritten signature in black ink, appearing to read "Nick M. Newcomb", written over a horizontal line.

Nick M. Newcomb  
Storage Park Development, COO

**APPLICATION FOR SPECIAL EXCEPTION**  
*Conditional Use for indoor storage facility*

Name and Address of Applicant: <i>Robert L Lloyd &amp; Nick Newcomb</i> <i>40 Northtown Dr</i> <i>Jackson, MS 39211</i>	Street Address of Property (if different address): <i>358 Church Rd</i> <i>Madison, MS 39110</i>
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APPLICATION DATE	Present Zoning of Property	Legal Description of Property:	TAX PARCEL NUMBER	FLOOD ZONE	MAP/PLAT OF PROPERTY
<i>Nov. 1, 2018</i>	<i>C-2</i>	<i>See (Exhibit A)</i>	<i>082E-21-016/07.00</i>	<i>X</i>	<i>See (Exhibit B)</i>

Other Comments: As per Article 2605 of the Madison County Zoning Ordinance.

Comments

Respectfully Submitted

\_\_\_\_\_

\_\_\_\_\_

.....

Petition submitted to Madison County Planning and Development Commission on \_\_\_\_\_

Recommendation of Madison County Planning and Development Commission on Petition \_\_\_\_\_

Public Hearing date as established by the Madison County Board of Supervisors \_\_\_\_\_

Final disposition of Petition \_\_\_\_\_

**Prepared By:**

Richard A. Eisenberger, Jr., MS Bar # 104882  
2950 Layfair Drive, Suite 101  
Flowood, MS 39232  
Telephone: (601) 664-0044

State of Mississippi  
County of Madison

**Return To:**

Crescent Title Company, LLC  
2950 Layfair Drive, Suite 102  
Flowood, MS 39232  
Telephone: (601) 664-1018

27-12<sup>r</sup>

**WARRANTY DEED**

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) cash in hand paid and other good and valuable consideration, the receipt and sufficiency of all of which are hereby acknowledged, as Grantor,

**Silver Leaf Holdings, LLC**  
a Mississippi limited liability company  
117 Park Circle Drive  
Flowood, MS 39232  
(601)932-1155

does hereby sell, convey, and warrant unto Grantee,

**Maverick Park, LLC**  
a Mississippi limited liability company  
40 Northtown Drive, Suite 100  
Jackson, MS 39211  
(601)977-0733

the following described land and property located in Madison County, Mississippi, and being more particularly described as follows, to-wit:

(See Exhibit A attached hereto and made a part hereof)

**INDEXING INSTRUCTIONS:**

NW1/4 of Section 21, T8N, R2E  
Madison County, Mississippi

46

This conveyance is subject to the following exceptions:

1. Ad valorem taxes for the year 2016, which are not due or payable until January 1, 2017.
2. Right of Way Easement to Bear Creek Water Association, Inc. recorded in Book 390, Page 252 and book 2019, page 22.
3. Right of Way to Entergy Mississippi Inc. recorded in Book 2024, Page 870.
4. All prior reservations or conveyances, together with release of damages, of minerals of every kind and character, including, but not limited to, oil, gas, sand and gravel in, on, and under subject property.

IT IS AGREED AND UNDERSTOOD that the taxes for the current year have been prorated as of this date on an estimated basis, and when said taxes are actually determined, if the proration as of this date is incorrect, the Parties hereto agree to pay on the basis of an actual proration.

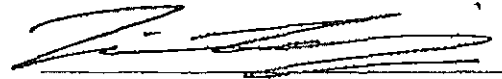
WITNESS THE SIGNATURE OF THE GRANTOR, this 11<sup>th</sup> day of March, 2016.

Silver Leaf Holdings, LLC  
a Mississippi limited liability company

By: Thomas S. Rhoden  
Thomas S. Rhoden, Member

STATE OF MISSISSIPPI  
COUNTY OF RANKIN

Personally appeared before me, the undersigned authority in and for the said county and state, on this 1<sup>st</sup> day of March, 2016, within my jurisdiction, the within named **Thomas S. Rhoden**, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed in the above and foregoing instrument and acknowledged that he executed the same in his representative capacity and that by his signature on the instrument, and as the act and deed of the person or entity upon behalf of which he acted, executed the above and foregoing instrument, after first having been duly authorized so to do.



NOTARY PUBLIC

MY COMMISSION EXPIRES:

2/8/19



**Legal Description  
For  
SILVER LEAF HOLDINGS LLC Property**

A tract or parcel of land containing 2.95 acres (128,423.48 square feet), more or less, lying and being situated in the Northwest ¼ of Section 21, Township 8 North, Range 2 East, Madison County, Mississippi and being more particularly described by metes and bounds as follows:

Commencing at a found ½ inch rod marking the Northwest corner of said Section 21; run thence

North 89 degrees 36 minutes 10 seconds East along the North line of said Section 21 for a distance of 980.15 feet; thence

South 00 degrees 20 minutes 42 seconds West for a distance of 54.06 feet to a found ½ inch iron pin marking the South right-of-way of Church Road and the Point of Beginning of the herein described property; thence

South 89 degrees 09 minutes 46 seconds East along said South right-of-way of Church Road for a distance of 219.99 feet to a found ½ inch iron pin marking the Northwest corner of the Hutchinson property as recorded in Deed Book 1986, Page 403 in the Office of the Chancery Clerk of Madison County; thence

South 00 degrees 20 minutes 42 seconds West along the West line of said Hutchinson property for a distance of 581.42 feet to a found ½ inch iron pin marking the Southwest corner of said Hutchinson property; thence

South 89 degrees 36 minutes 14 seconds West for a distance of 220.00 feet to a found ½ inch iron pin; thence

North 00 degrees 20 minutes 42 seconds East for a distance of 586.16 feet to the Point of Beginning.

Prepared by:  
Benchmark Engineering and Surveying, LLC  
101 Highpointe Court, Suite B  
Brandon, MS 39042

(601) 591-1077 Office  
(601) 591-0711 Fax  
Email: [mlove@benchmarkms.net](mailto:mlove@benchmarkms.net)



October 4, 2018

Madison Count Board Planning Administrator

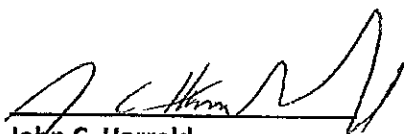
RE: Application for Special Exception

Mr. Weeks:

Please be aware, Maverick Park Properties, LLC, has a contract to purchase 3.62 acres of land from Mr. John C. Harreld, Mrs. Annette Maria Schmidt Harreld, and Mr. Ronald L. Hutchison. They have the owner's authorization to submit a Special Exception application to the Madison County Planning and Zoning department during their due diligence period.

The special exception requested will be to have a self-storage facility approved as a conditional use within a C-2 zone.

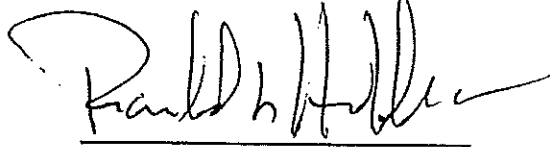
Sincerely,



John C. Harreld



Annette Marie Schmidt Harreld



Ronald L. Hutchison

40 Northtown Drive, Jackson, MS 39211-3097 Phone: 601-977-0733

[www.stomax.com](http://www.stomax.com)



P. O. Box 107  
Canton, MS 39046

Phone: (601) 856-5969  
Fax: (601) 856-8936

September 10, 2018

RE: 358 Church Road  
Northwest 1/4 of Section 21, T8N, R2E  
Madison County, Mississippi

To Whom it May Concern

Please be advised that the area to be developed at 358 Church Road, located in the Northwest 1/4 of Section 21, Township 8 North, Range 2 East, does lie within Bear Creek Water Association's water and sewer certificated area. This property is on the southerly side of Church Road, south of Germantown High School. The association will provide the development with water and sewer services in accordance with its standard water and sewer extension policies and procedures.

Please contact me if you need any additional information.

Sincerely,

A handwritten signature in cursive script, appearing to read "Nolan P. Williamson".

Nolan P. Williamson, P.E.  
General Manager





September 06, 2018

RE: StorageMax Germantown

Dear Mr. Newcomb,

Per your request, I would like to confirm via this letter that Entergy's electrical Distribution Facilities have ample capacity to allow for service to the proposed development, reference above, as designated by the Mississippi Public Service Commission.

The electrical design and service points(s) to the development above is subject to Entergy approval and shall meet Entergy's policies and the National Electrical Code. Certain costs may apply, which can be determined at a later date as you move forward with the development and we are provided with specific load information and site plans.

We look forward to meeting with your field personnel to address any issues. If you have any further questions or need additional information, please feel free to contact me at 601-853-5915.

Sincerely,

**Marshall Webb**

Marshall Webb  
Engineer I



300 Executive Blvd, Byram, MS 39272

September 6, 2018

Nick Newcomb  
Storage Park Development Inc.  
40 Northtown Dr.  
Jackson, MS 39211

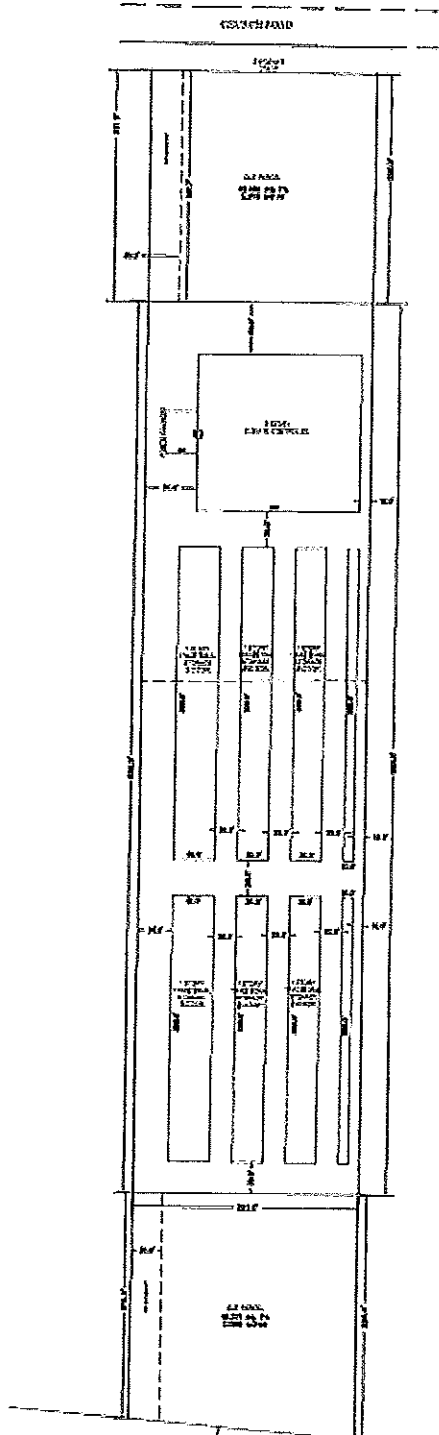
RE: Storage Max Church Rd. Madison County MS

This is to inform you that natural gas is available for the above-mentioned project at 358 Church Rd. Madison, MS 39110 and will be provided by CenterPoint Energy. We look forward to the opportunity to work with you on this project.

The gas main and service lines will be provided as per the approved main and service line policy as filed with the Mississippi Public Service Commission.

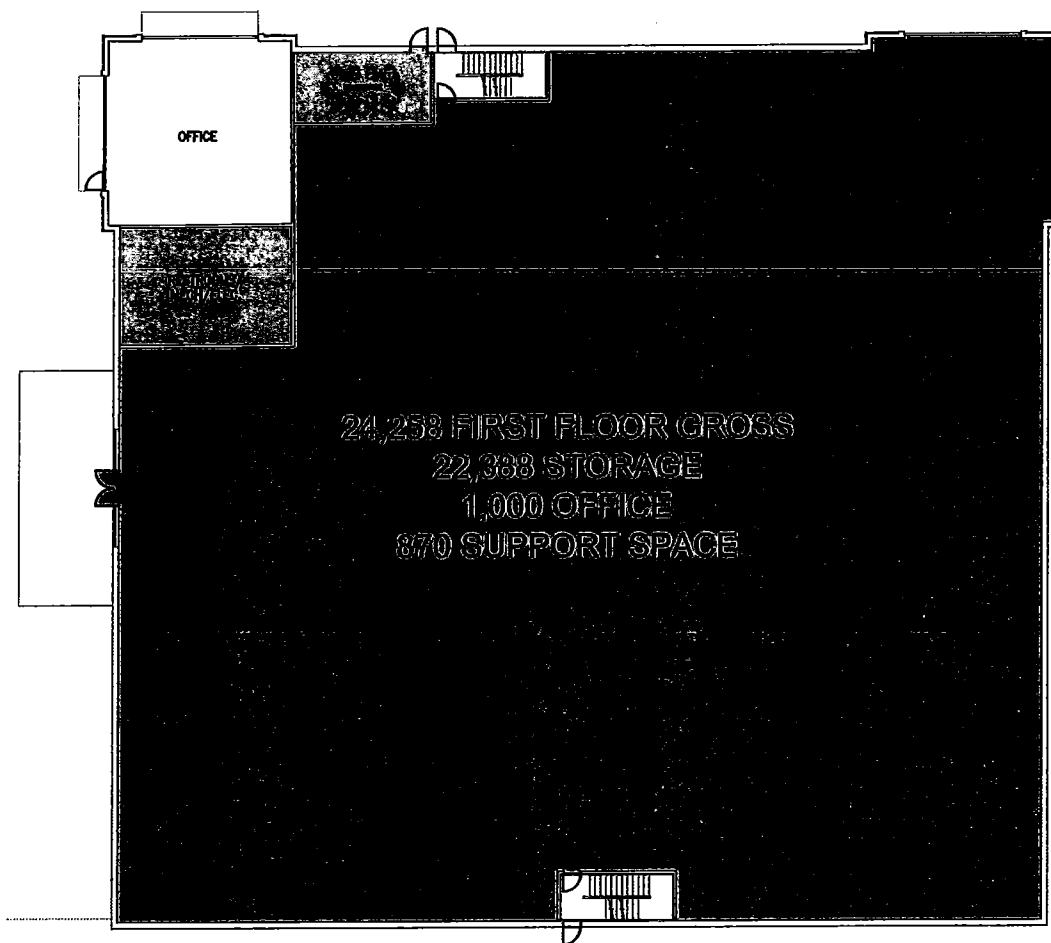
Sincerely,  
Daniel Wilson  
Senior Marketing Rep.

PROPOSED  
**STORAGE MAX**  
GLUCKSTADT  
MADISON COUNTY, MISSISSIPPI

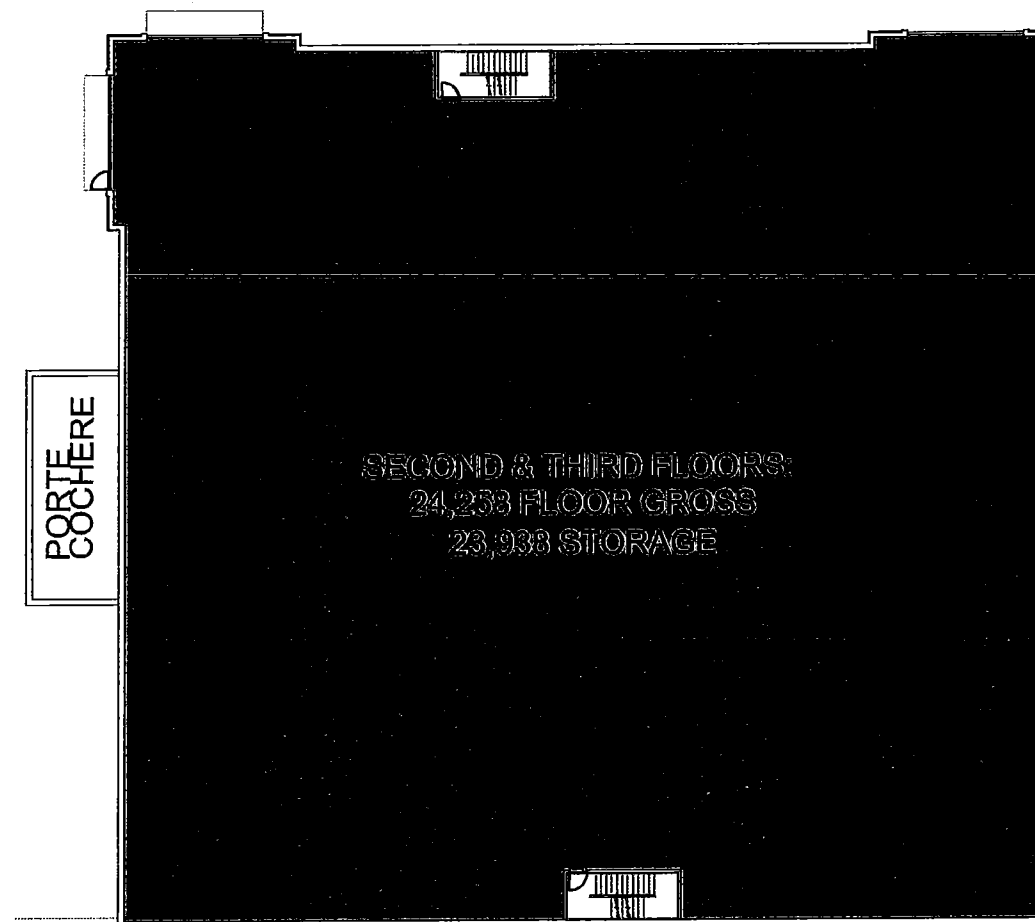


STORAGE MAX  
PARKING

GLUCKSTADT WAY



FIRST FLOOR PLAN

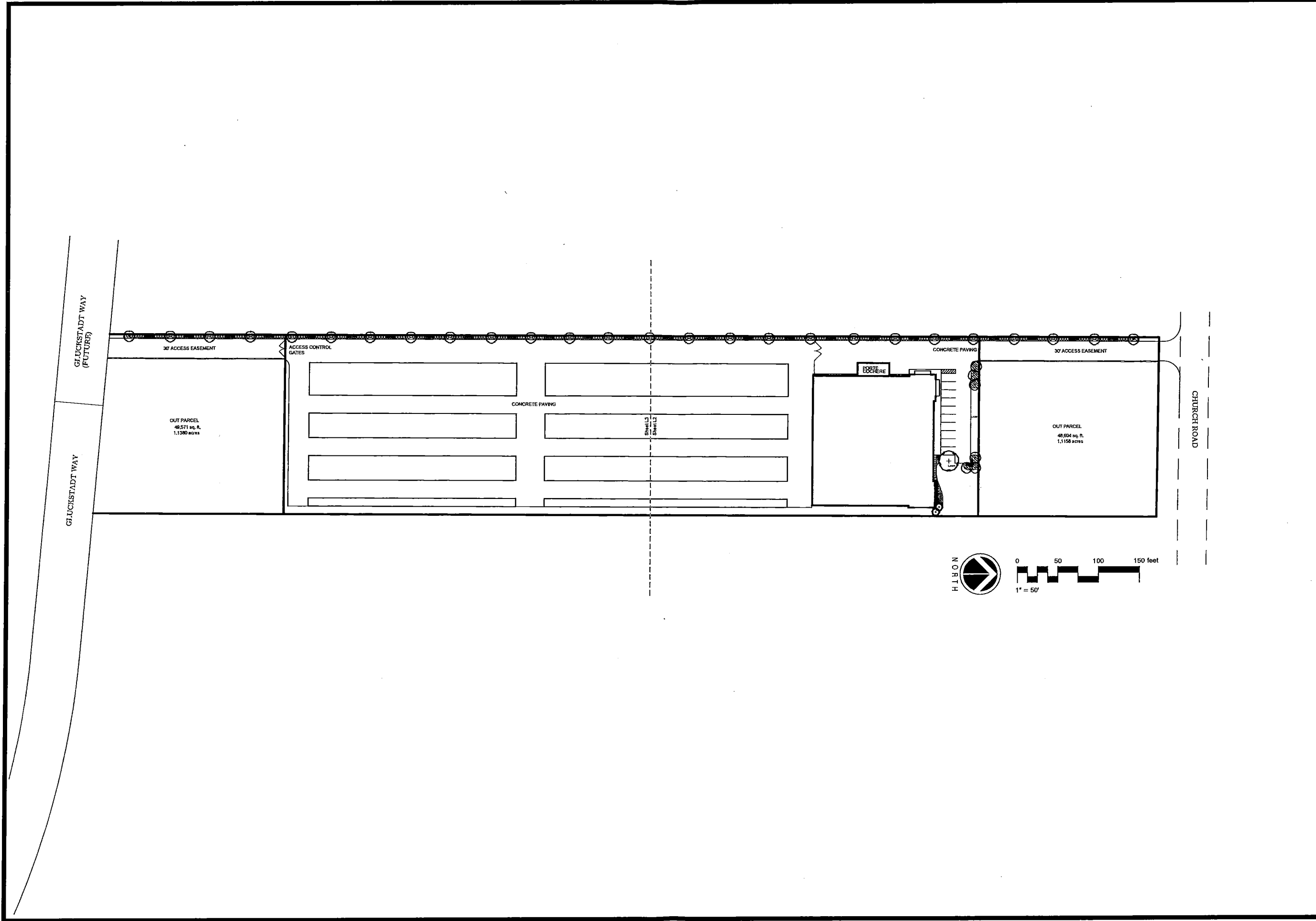


SECOND & THIRD FLOOR PLAN

**STORAGE MAX**<sup>TM</sup>

*Have you reached your Max?*

GLUCKSTADT, MS



REVISIONS

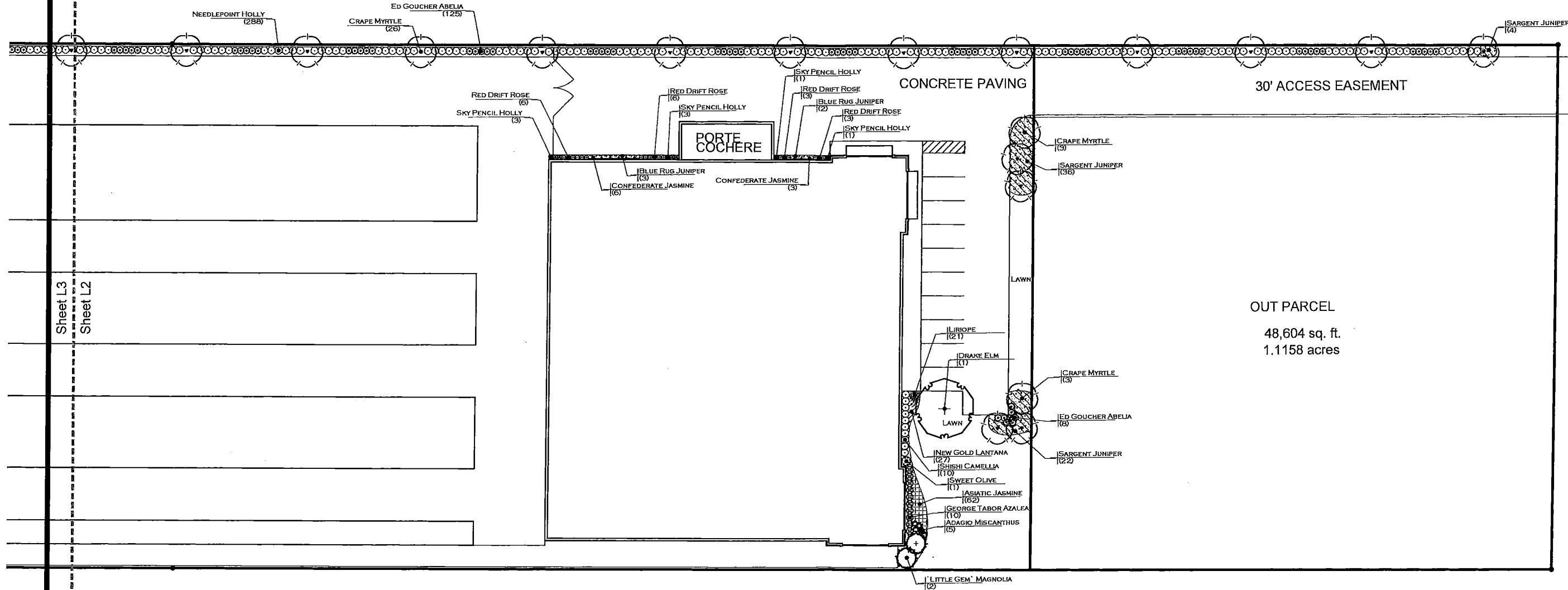

Landscape Planting Key  
**STORAGE MAX**  
 Madison County, Mississippi

DATE: 10-29-18  
 DRAWN: AMC.  
 CHECKED:

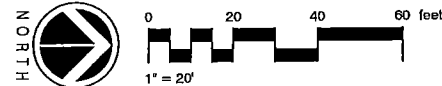
**L1**

**McCrorry & Associates**  
 land planning consultants | WWW.MCCRORYDESIGNS.COM

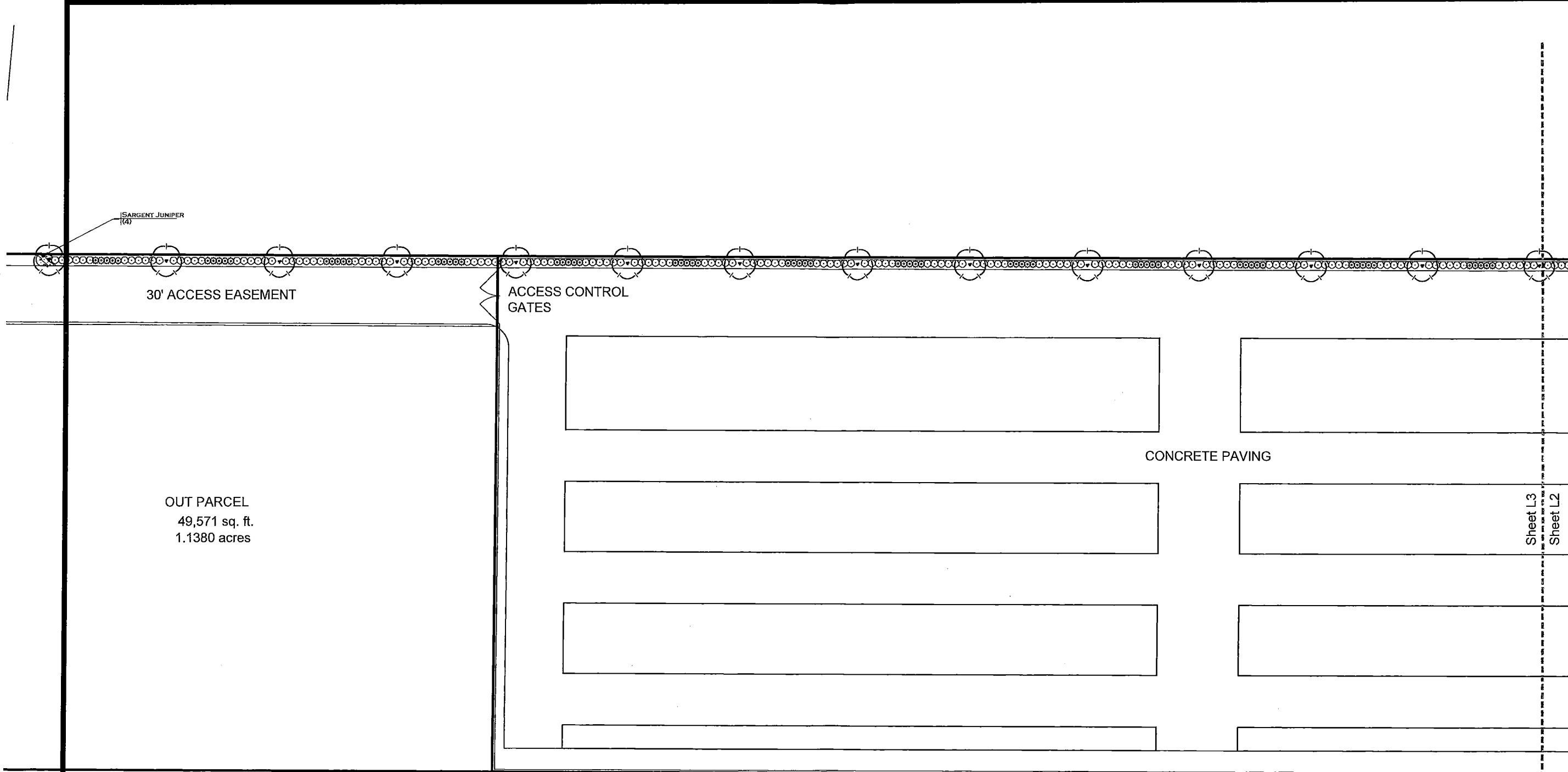
P.O. BOX 2425  
 MADISON, MISSISSIPPI 39130  
 601-966-3477 PHONE  
 WWW.MCCRORYDESIGNS.COM



Sheet L3  
Sheet L2



REVISIONS

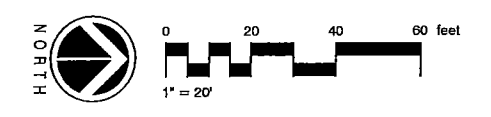



30' ACCESS EASEMENT

ACCESS CONTROL GATES

OUT PARCEL  
49,571 sq. ft.  
1.1380 acres

CONCRETE PAVING



Sheet L3  
Sheet L2

P.O. BOX 2425  
MADISON, MISSISSIPPI 39130  
601-906-9477 PHONE  
WWW.MCCORRYDESIGNS.COM

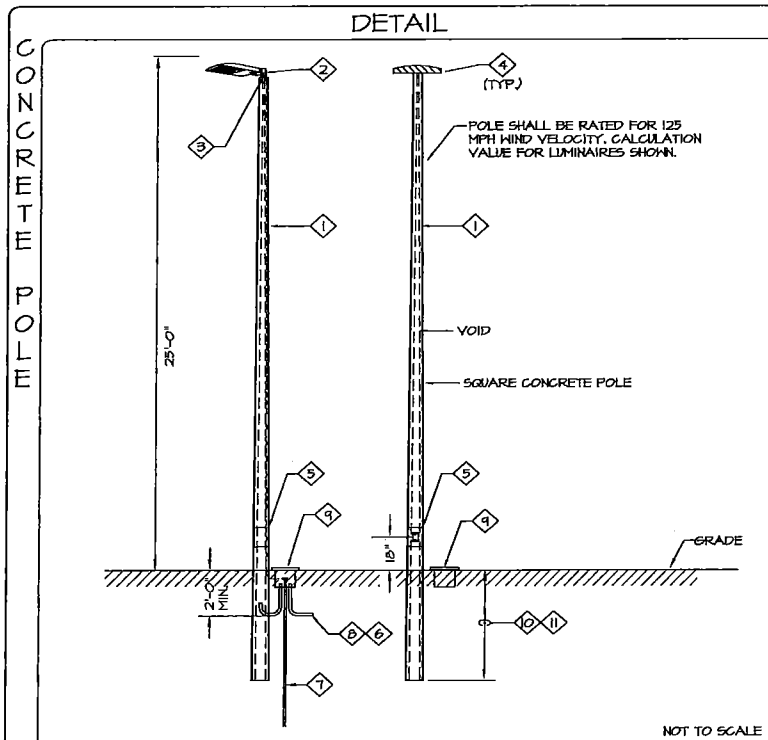
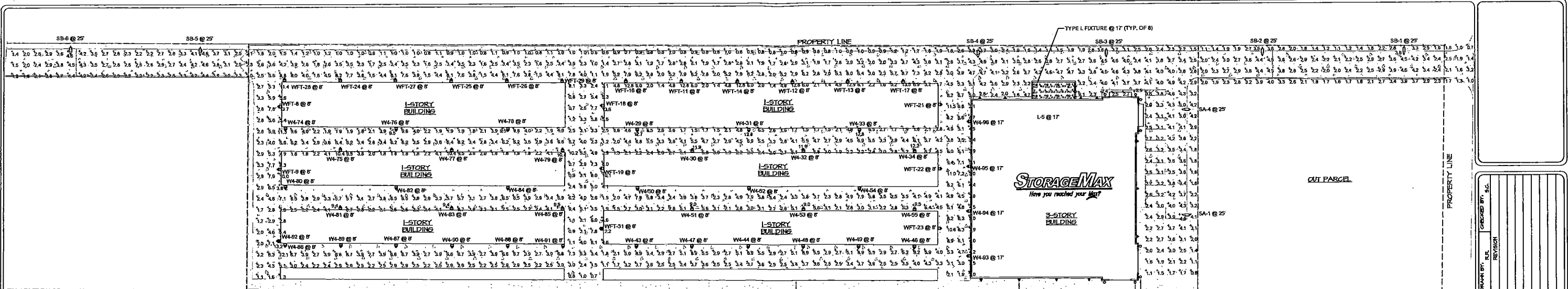


REVISIONS


Landscape Planting Plan  
**STORAGE MAX**  
Madison County, Mississippi

DATE: 10-29-18  
DRAWN: AMC  
CHECKED:

L3



**Surface Schedule**

Surface	Material	Area (sq ft)	Reflected	Normal	Area (sq ft)
Bottom	Asph/Flt	1000.00	0.00	0.00	1000.00
Side 1	Asph/Flt	1000.00	0.00	0.00	1000.00
Side 2	Asph/Flt	1000.00	0.00	0.00	1000.00
Side 3	Asph/Flt	1000.00	0.00	0.00	1000.00
Side 4	Asph/Flt	1000.00	0.00	0.00	1000.00
Top	Asph/Flt	1000.00	0.00	0.00	1000.00

**Luminaire Locations**

No.	Label	X	Y	Z	Height	Orientation	TR	X	Y	Z
1	L	1255.75	773.13	17.00	17.00	0.00	0.00	1255.75	773.13	0.00
2	L	1285.75	773.13	17.00	17.00	0.00	0.00	1285.75	773.13	0.00
3	L	1275.75	773.13	17.00	17.00	0.00	0.00	1275.75	773.13	0.00

**NOTES**

① DECORATIVE TYPE FIXTURE, NOT INCLUDED IN PHOTOMETRIC STUDY. SEE ARCHITECTURAL ELEVATION FOR LOCATION.

**Schedule**

Symbol	Label	Quantity	Manufacturer	Ordering Number	Description	Lamp	Number Lamps	Fluorescence	Lumens Per Lamp	Light Loss Factor	Voltage
W4	W4	41	Lithonia Lighting	DSXWY LED 200 1000 40K T8M MVOLT	DSXWY LED WITH 10 LED LIGHT ENGINE, TYPE T8M OPTIC, 4000K, @ 1000MA	LED	1	DSXWY_LED_20_C_1000_40K_T8_M_MVOLT.es	7420	0.9	73.2
WFT	WFT	20	Lithonia Lighting	DSXWY LED 200 1000 40K T8M MVOLT	DSXWY LED WITH 10 LED LIGHT ENGINE, TYPE T8M OPTIC, 4000K, @ 1000MA	LED	1	DSXWY_LED_20_C_1000_40K_T8_TFT_M_MVOLT.es	7711	0.9	73.2
L	L	8	Globe	EVO 4025 BAR W/LS	4000K, 2500LM, CR80, 8W CLEAR, WIDE DIST, BIPOLAR	LED	1	EVO_40_25_BAR_W/LS.es	2800	0.5	29.5
SA	SA	2	Lithonia Lighting	DSX1 LED P8 40K T8M MVOLT	DSX1 LED P8 40K T8M MVOLT	LED	1	DSX1_LED_P8_40K_T8M_MVOLT.es	2358	0.9	207
SB	SB	6	Lithonia Lighting	DSX1 LED P8 40K T8M MVOLT HS	DSX1 LED P8 40K T8M MVOLT with houseuse shade	LED	1	DSX1_LED_P8_40K_T8M_MVOLT_HS.es	19831	0.9	207

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CANOPY AREA	+	155.8%	255.6%	11.9%	2.21	1.51
OVERALL SITE	+	37.1%	137.6%	0.8%	22.81	6.21

ALL SITE AND BUILDING LIGHTS PROPOSED ON THIS PROJECT ARE DESIGNED AS FULL CUTOFF CLASSIFICATION WITH ZERO UP LIGHT COMPONENTS.

THESE PHOTOMETRICS ARE INTENDED FOR DESIGN AND EVALUATION PURPOSES ONLY. THE POINT-BY-POINT SHOWN IS BASED ON A COMPUTER LIGHTING PROGRAM WITH APPROXIMATED PARAMETERS. THEREFORE, THESE PHOTOMETRICS MAY VARY FROM ACTUAL FIELD CONDITIONS.

**FIXTURE NOTE:**  
FIXTURE SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. SEE ACTUAL FIXTURE SCHEDULE ELSE WHERE IN THIS DOCUMENTS FOR ACTUAL CATALOG NUMBER AND DESCRIPTION.

- NOTES:**
- DIRECT BURIAL POLE SHALL BE RATED FOR WIND VELOCITY AS INDICATED. CALCULATION SHALL BE BASED ON THE EPA VALUE FOR THE LUMINAIRE SHOWN PER POLE.
  - ELECTRICAL CONTRACTOR TO COORDINATE THE TYPE OF TENON OR MOUNTING REQUIRED WITH THE FIXTURE MANUFACTURER, TO MOUNT THE SITE LIGHT FIXTURE TO THE POLE AS INTENDED AND INDICATED.
  - NO. 6 GROUND CONDUCTOR, FURNISHED WITH THE POLE, BONDED AT THE J BOX AT THE BOTTOM OF THE POLE. SEE NOTE #1, AND TO THE EQUIPMENT GROUND CONDUCTOR RAN WITH THE CIRCUIT FROM THE DESIGNATED PANEL IN THE BUILDING.
  - LUMINAIRE. SEE FIXTURE SCHEDULE ON THE SITE LIGHTING PLAN FOR QUANTITY, TYPE, AND OPTIC ORIENTATION. PROVIDE PROPER BRACKETS TO MOUNT THE FIXTURE AS SHOWN ON THE PLAN. COORDINATE WITH THE FACTORY AND PROVIDE BRACKET CUT SHEET TO THE ENGINEER FOR APPROVAL PRIOR TO RELEASE.
  - HAND HOLE AT 10' A.F.B.
  - CONDUIT, EXTEND TO FULL BOX OR NEXT POLE AS REQUIRED.
  - 3/4" x 10'-0" COPPER CLAD GROUND ROD FOR LIGHTNING PROTECTION. CONNECTION TO THE GROUND ROD SHALL BE MADE VIA A UL LISTED MECHANICAL CONNECTION.
  - SEE ELECTRICAL SITE PLAN FOR CONDUIT AND WIRE SIZES AND DESTINATION PANEL. WIRE SIZE UP THE POLE SHALL BE SAME SIZE FEEDING THE RELEASE.
  - PROVIDE FLUSH IN GRADE (12"x12"x12" MINIMUM) WEATHERPROOF ELECTRIC HANDHOLE ENCLOSURE. ELECTRICAL HANDHOLE ENCLOSURE SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH N.E.C. ARTICLE 314.20 "HANDHOLE ENCLOSURES". THESE BOXES SHALL BE USED AS FULL BOXES ONLY. NO TERMINATIONS SHALL BE MADE IN THESE BOXES EXCEPT FOR THE GROUND CONDUCTOR. LOCATE BOX WITHIN 3'-0" OF POLE BASE, WHERE POSSIBLE. THE BOX SHALL BE LOCATED IN A LANDSCAPE AREA ONLY AND NOT SUSCEPTIBLE TO ANY TRAFFIC CONDITION. COVER SHALL BE RATED FOR THE LOAD IMPOSED UPON IT, AND SHALL BE PROVIDED WITH LOGO STATING "ELECTRICAL".
  - DEPTH OF THE EMBEDMENT OF THE POLE SHALL BE AS RECOMMENDED BY POLE MANUFACTURER TO MEET REQUIRED WIND LOADINGS. MINIMUM EMBEDMENT SHALL NOT BE LESS THAN 6'-0", OR AS LISTED IN NOTE #11 BELOW, WHICHEVER IS MORE STRINGENT.
  - PROVIDE EMBEDMENT LENGTH DESIGN SIGNED AND SEALED BY A MISSISSIPPI CERTIFIED STRUCTURAL ENGINEER, THAT MEETS THE REQUIRED WIND SPEED AS A MINIMUM, BASED ON POLE HEIGHT, FIXTURES EPA RATING, AND SPECIFIC SITE SOIL CONDITIONS. SOIL REPORT CAN BE OBTAINED BY CONTACTING THE PROJECT ARCHITECT.

PROJECT LOCATION: STORAGE MAX  
MADISON COUNTY, GLUCKSTADT, MS

SHEET TITLE: PHOTOMETRIC SITE PLAN

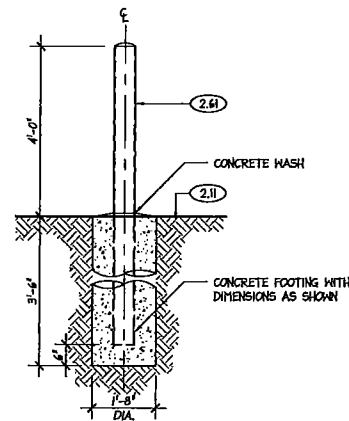
DATE: 10/20/2016  
DRAWN BY: J. CHEEHAVER  
CHECKED BY: J. CHEEHAVER

**SOUFEL CHEEHAVER, P.E.**  
CONSULTING PROFESSIONAL ENGINEER  
3702 ARBELA ST.  
TAMPA, FL 33609  
www.cheehaver.com

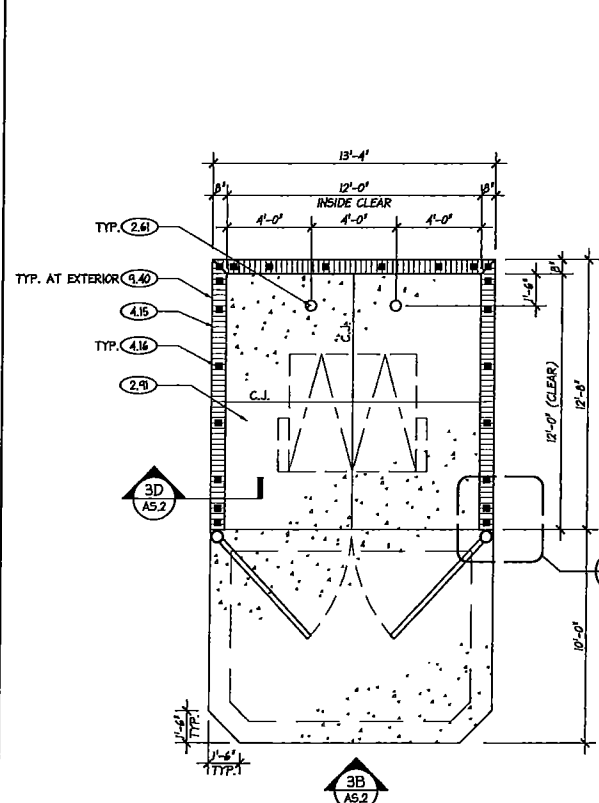
SHEET NO. 11.2





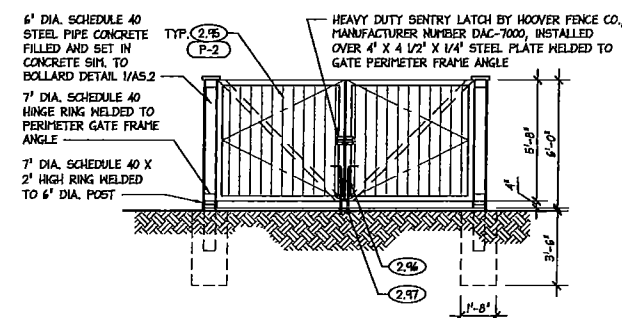


**1 BOLLARD DETAIL**  
SCALE: 1/2" = 1'-0"



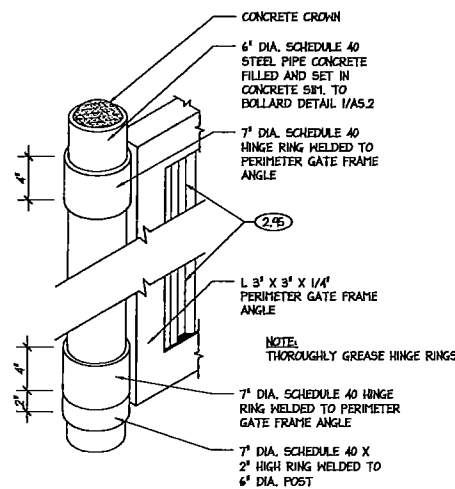
**3A DUMPSTER ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"

THE DUMPSTER ENCLOSURE AND GATES SHALL BE FINISHED TO MATCH THE BUILDING. REFER TO EXTERIOR ELEVATIONS AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION

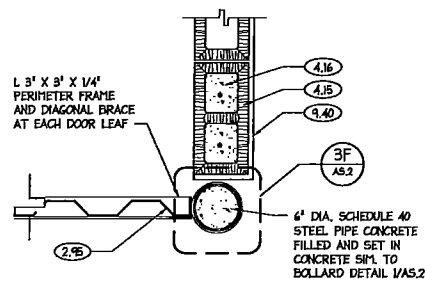


**3B DUMPSTER ELEVATION**  
SCALE: 1/4" = 1'-0"

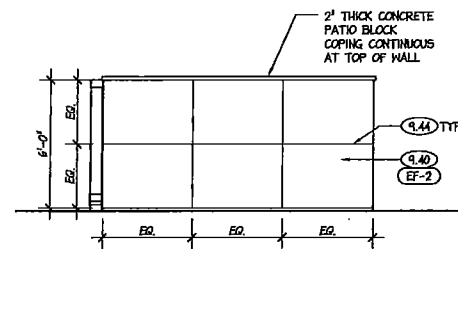
**3 DUMPSTER ENCLOSURE DETAILS**  
SCALE: AS SHOWN



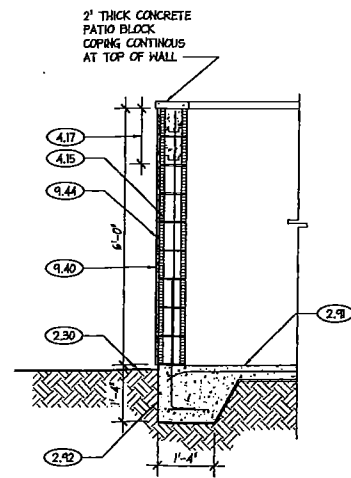
**3F GATE POST ISOMETRIC DETAIL**  
SCALE: 1/2" = 1'-0"



**3E GATE POST DETAIL**  
SCALE: 1" = 1'-0"



**3C DUMPSTER ELEVATION**  
SCALE: 1/4" = 1'-0"



**3D DUMPSTER SECTION**  
SCALE: 1/2" = 1'-0"

**SITE PLAN KEYNOTES**

TO THE FULLEST EXTENT POSSIBLE, BUILDING COMPONENTS WILL BE MARKED AS 'TYPICAL' (TYP.). WHERE SO, KEYED NOTES WILL NOT BE DUPLICATED FOR COMPONENTS OF LIKE KIND. SHOULD THE CONTRACTOR REQUIRE CLARIFICATION OF ANY SUCH COMPONENT, A REQUEST FOR INFORMATION (RFI) SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO BID

- DIVISION 1 - GENERAL**  
1.11 HALL CONSTRUCTION, REFER TO HALL SECTIONS
- DIVISION 2 - SITE CONSTRUCTION**  
2.01 PROPERTY OR LOT LINE, REFER TO CIVIL DRAWINGS  
2.10 REFER TO CIVIL DRAWINGS FOR ALL PAVEMENT/SURFACING BEYOND BUILDING AND SIDEWALK INCLUDING ALL PAVEMENT MARKINGS, PARKING STRIPPING, IC GRAPHICS, CROSSEWALKS AND DIRECTIONAL ARROWS  
2.11 TOP OF PAVEMENT, SEE CIVIL DRAWINGS  
2.20 CONCRETE SIDEWALK, 4" THICK 3,000 PSI W/ 6 X 6, W4.4 X W4.4 MM. PROVIDE 12" DEEP X 8" WIDE TURNED DOWN EDGE WITH (1) #5 REBAR CONTINUOUS AT PERIMETER. REFER TO DETAIL ON SHEET AS.2 FOR REQUIREMENTS  
2.23 CONCRETE CURB, REFER TO CIVIL DRAWINGS FOR REQUIREMENTS  
2.25 6" THICK, 3,000 PSI CONCRETE WITH INTEGRAL COLOR (NUMBER CC50% AS MANUFACTURED BY INKRETE SYSTEMS) AT COVERED LOADING AREA, REFER TO AND CIVIL DRAWINGS FOR EXTENTS AND NOTES ON SHEET AS.1 FOR REQUIREMENTS  
2.27 CONCRETE WHEEL STOP, REFER TO CIVIL DRAWINGS  
2.30 LANDSCAPE AREA, REFER TO CIVIL AND LANDSCAPE DRAWINGS  
2.40 HANDICAP RAMP WITH 1:2 MAXIMUM SLOPE, REFER TO CIVIL DRAWINGS  
2.41 FLUSH TRANSITION BETWEEN PARKING AND SIDEWALK FOR HANDICAP ACCESS. PROVIDE DETECTABLE WARNING SURFACE WHERE INDICATED  
2.42 DETECTABLE WARNING SURFACE COMPRISED OF TRUNCATED DORIES, REFER TO CIVIL DRAWINGS  
2.50 HANDICAPPED PARKING SIGN, REFER TO CIVIL DRAWINGS  
2.52 TRAFFIC DIRECTIONAL SIGN, REFER TO CIVIL DRAWINGS  
2.62 STEEL PIPE BOLLARD, SCHEDULE 40 WITH GROUT FILL (SIZE AS INDICATED). STEEL TO BE RUST FREE AND PRIME COATED. PROVIDE POLYETHYLENE BOLLARD COVER MANUFACTURED BY IDEAL SHIELD, TEL. (313) 842-7292. COLOR SHALL YELLOW AT ALL OTHER. REFER TO DETAIL ON SHEET AS.2  
2.60 TRANSFORMER ON CONCRETE PAD, REFER TO CIVIL AND ELECTRICAL DRAWINGS  
2.90 DUMPSTER ENCLOSURE, REFER TO CIVIL DRAWINGS AND DETAILS ON SHEET AS.2  
2.91 CONCRETE SLAB AT DUMPSTER ENCLOSURE, 6" THICK, 3,000 PSI WITH 6 X 6, W2.8 X W2.8 MM OVER COMPACTED FILL  
2.92 MONOLITHIC CONCRETE FOUNDATION WITH (2) #5 BARS CONTINUOUS AND (1) #5 BAR TRANSVERSE AT 24" O.C. (BOTTOM) AND (1) #5 BAR CONTINUOUS (TOP/OUTSIDE)  
2.95 2" DEEP X 1/8 GA. GALVANIZED STEEL DECK AT GATE PANEL, PAINTED  
2.96 "J-BOLT" GATE LATCH AT EACH LEAF. CONSTRUCT USING 1/2" DIA. STEEL DOVEL  
2.97 PROVIDE 3/4" DIA. X 6" DEEP RECEIVER HOLE IN CONCRETE FOR EACH GATE LATCH

- DIVISION 3 - CONCRETE**  
3.05 1/2" WIDE EXPANSION JOINT IN CONCRETE WITH PRE-MOLDED JOINT MATERIAL  
3.34 CAST-IN-PLACE CONCRETE CURB, REFER TO DETAIL ON SHEET AS.8  
3.37 CONCRETE SIDEWALK AND RAMP WITH RETAINING WALL. REFER TO STRUCTURAL DRAWINGS FOR DETAILS

- DIVISION 4 - MASONRY**  
4.15 8" CMU WITH 1 GA. HORIZONTAL JOINT REINFORCEMENT (LADDER TYPE) AT 16" O.C. VERTICAL  
4.16 GROUT FILLED CMU CELL REINFORCED WITH (1) #5 VERTICAL FROM FOOTING TO TOP OF BOND BEAM AT 2'-8" O.C. MAXIMUM AND AT WALL CORNERS AND TERMINATIONS  
4.17 (2) COURSES 8" CMU KNOCK-OUT BLOCKS GROUT FILLED WITH (1) #5 BAR CONTINUOUS AT EACH COURSE

- DIVISION 5 - METALS**  
5.44 1 1/2" ALUMINUM HANDRAIL, REFER TO DETAIL ON SHEET AS.2  
5.45 1 1/2" ALUMINUM POST, REFER TO DETAIL ON SHEET AS.2  
5.46 PROVIDE PRE-ENGINEERED RAISED ALUMINUM PLATFORM / WALKWAY EXTENDING FROM EXIT DOOR TO CONCRETE RETAINING WALL AND WALKWAY

- DIVISION 9 - FINISHES**  
9.40 ACRYLIC (EFS) FINISH COAT OVER 3/4" PORTLAND CEMENT BASE OVER CMU. REFER TO EXTERIOR ELEVATIONS AND EXTERIOR FINISH SCHEDULE FOR TEXTURE AND COLOR REQUIREMENTS  
9.44 CONTROL JOINT IN CEMENT PLASTER, "M" SHAPE (PAINT TO MATCH WALL COLOR). SEE CONTROL JOINT DETAIL ON SHEET AS.1

- DIVISION 10 - SPECIALITIES**  
10.11 PYLON OR MONUMENT SIGN BY OWNER'S SIGN VENDOR. REFER TO ELECTRICAL DRAWINGS FOR POWER REQUIREMENTS

- DIVISION 15 - MECHANICAL**  
15.08 FIRE HYDRANT LOCATION, REFER TO CIVIL DRAWINGS  
15.21 FIRE DEPARTMENT CONNECTION, REFER TO CIVIL AND FIRE PROTECTION DRAWINGS  
15.22 CHECK VALVE ASSEMBLY, REFER TO CIVIL AND FIRE PROTECTION DRAWINGS

- DIVISION 16 - ELECTRICAL**  
16.50 POLE MOUNTED SITE LIGHTING FIXTURE, REFER TO ELECTRICAL DRAWINGS. COORDINATE INSTALLATION WITH CIVIL DRAWINGS

**GENERAL NOTES**

1. AT THE BUILDING EXTERIOR, THE GC SHALL BE RESPONSIBLE FOR ALL SUB-GRADE ELECTRICAL CONDUIT AND FOUNDATIONS (AS APPLICABLE) FOR SITE LIGHTING. REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC REQUIREMENTS FOR CONDUIT RUNS

REFER TO THE CIVIL DRAWINGS FOR DIMENSIONS OF ALL ITEMS OUTSIDE OF THE BUILDING PERIMETER INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, PARKING STALLS, LOADING AREAS, LANDSCAPE AREAS AND DRIVE AISLES  
IN ADDITION, REFER TO CIVIL DRAWINGS FOR ALL FINISHED PAVEMENT AND GRADE ELEVATIONS

**REQUIREMENTS FOR EXTERIOR CONCRETE:**  
PERIMETER SIDEWALKS SHALL BE A MINIMUM OF 4" THICK, 3,000 PSI CONCRETE REINFORCED WITH 6" X 6", W4.4 X W4.4 MM AND 1'-0" DEEP X 8" WIDE THICKENED SLAB EDGE, NATURAL GRAY COLOR. SURFACE TO RECEIVE MEDIUM BROOM FINISH. MEDIUM BROOM FINISH, RETOOL (WITH HAND EDGER) ALL CONTROL JOINTS AND EXPANSION JOINTS AFTER BROOM FINISHING TO ACHIEVE "PICTURE FRAME" IN CONCRETE. THIS SHALL INCLUDE ALL ABUTMENTS TO WALLS, CURBS, COLUMNS, ETC.  
SIDEWALK CONTROL JOINTS SHALL BE SPACED BY NO MORE THAN 5'-0" IN EITHER DIRECTION WITH PRE-MOLDED EXPANSION JOINTS LOCATED EVERY 20'-0" MAX.

**LOADING AREA CONCRETE:**  
SHALL BE MINIMUM 6" THICK, 3,000 PSI POURED CONCRETE REINFORCED WITH #4 BARS AT 12" O.C. EACH WAY. REFER TO CIVIL DRAWINGS FOR GRADING. CONCRETE TO RECEIVE INTEGRAL CONCRETE COLOR, NUMBER CC50% AS MANUFACTURED BY INKRETE SYSTEMS. INSTALL SAWCUT CONCRETE CONTROL JOINTS, 1/2" WIDE X 1 1/2" DEEP, AT 15'-0" O.C. MAX. EACH WAY (AREA NOT TO EXCEED 225 SQ. FT.).

**DOWNSPOUT REQUIREMENTS:**  
ALL DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND STORM SEWER. REFER TO CIVIL DRAWINGS FOR REQUIREMENTS. REFER TO DETAIL ON SHEET AS.2

WHERE APPLICABLE, THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE LOCATIONS OF UNDERGROUND PIPING TO PRECISELY ALIGN WITH ROOF SCUPPERS AND DOWNSPOUTS

REFER TO EXTERIOR ELEVATIONS AND WALL SECTIONS FOR EXTERIOR WALL FINISHES

**FWH**  
Architects

LEIF AA COBBINS  
3336 Grand Blvd., Suite 201  
Holiday, Florida 34690  
Ph. 727. 815. 3336  
FABER@FWHARCHITECTS.COM

TO THE BEST OF THE KNOWLEDGE OF THE ARCHITECTS AND ENGINEERS, ALL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE



NO.	DATE	REVISION DESCRIPTIONS





**STORAGEMAX**  
Have you reached your Max?  
STORAGEMAX GERMANTOWN  
358 CHURCH RD  
MADISON, MS 39110

17078  
COMM. NO.  
ARCHITECTURAL  
SITE DETAILS

AS.2

# Property Owners Map

## Legend

-  John Harreld, Ron Hutchison & Annette Maria Schmidt Harreld
-  Madison County School District
-  Ronald L & Judith S Hutchison
-  Subject Property

Google Earth

© 2018 Google



1000 ft

# Fire Hydrant Map

Distance from Hydrant 1 to center of property is 1,092 FT. Distance from Hydrant 2 to center of property is 1,752 FT.

## Legend

-  1,092 FT
-  1,752 FT
-  Hydrant 1
-  Hydrant 2

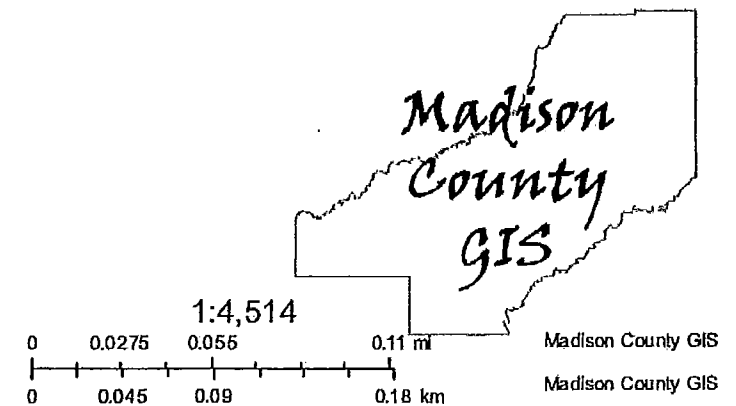
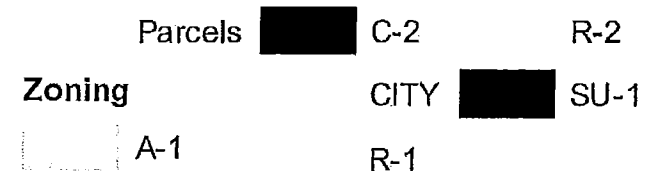


Google Earth

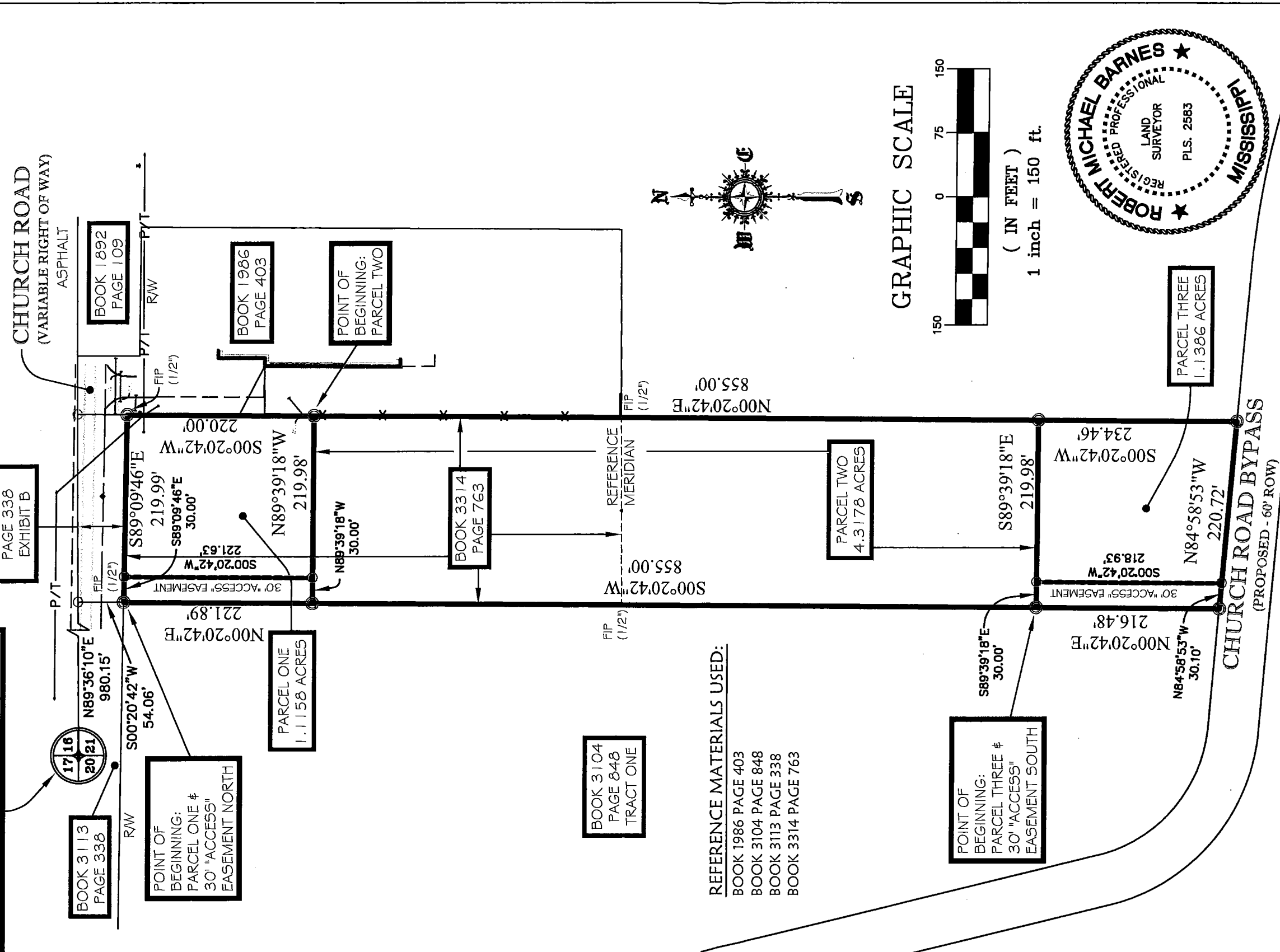
© 2018 Google



### Madison County Web Map



POINT OF COMMENCEMENT:  
 FOUND "PK" NAIL MARKING THE NORTHWEST  
 CORNER OF SECTION 21, T8N, R2E,  
 MADISON COUNTY, MISSISSIPPI



REFERENCE MATERIALS USED:  
 BOOK 1986 PAGE 403  
 BOOK 3104 PAGE 848  
 BOOK 3113 PAGE 338  
 BOOK 3314 PAGE 763

PLAT SHOWING  
**CERTAIN PROPERTIES**

SITUATED IN THE NORTHWEST 1/4 OF  
 SECTION 21, T8N, R2E  
 MADISON COUNTY, MISSISSIPPI

SURVEYED & MAPPED  
 BY  
**BARNES SURVEYING, LLC**  
 ROBERT MICHAEL BARNES  
 LAND SURVEYOR  
 2 OLD RIVER PLACE, SUITE "K"  
 JACKSON, MISSISSIPPI 39202  
 PHONE: 601.353.7878 FAX: 601.353.7805  
 EMAIL: mike@barnessurvey.com  
 FIELD WORK COMPLETED: OCTOBER 25, 2018  
 PLAT DATE: OCTOBER 30, 2018

C:\Users\Seth.Dean\OneDrive\Projects\DES\Storage Max\dwg\SMar-Base.dwg, drainage map, 10/29/2018 9:47:19 AM, Seth Dean, DWG to PDF.pc3, ARCH expand D (24.00 x 36.00 Inches), 1:1



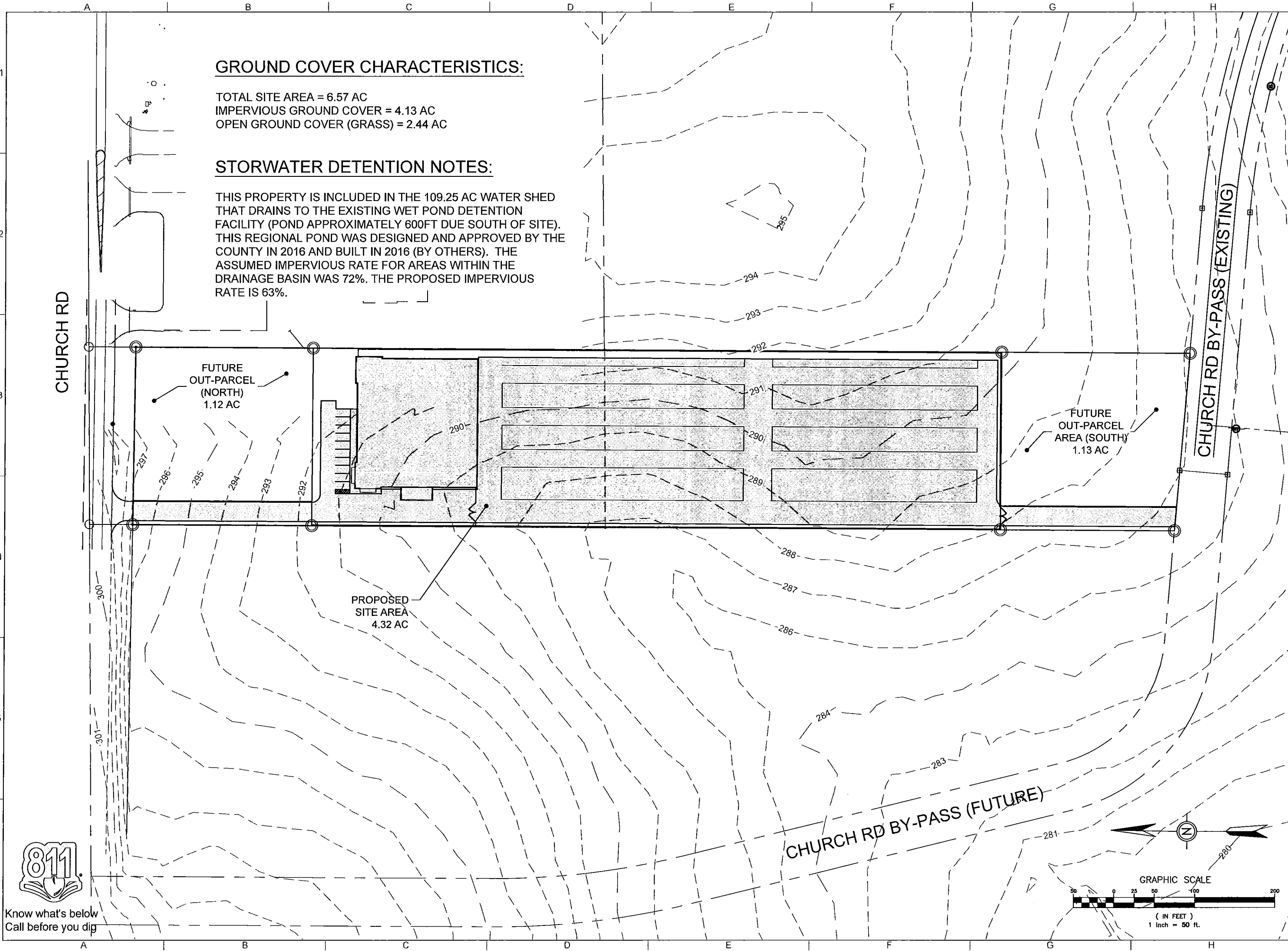
Know what's below  
Call before you dig

**GROUND COVER CHARACTERISTICS:**

TOTAL SITE AREA = 6.57 AC  
 IMPERVIOUS GROUND COVER = 4.13 AC  
 OPEN GROUND COVER (GRASS) = 2.44 AC

**STORWATER DETENTION NOTES:**

THIS PROPERTY IS INCLUDED IN THE 109.25 AC WATER SHED THAT DRAINS TO THE EXISTING WET POND DETENTION FACILITY (POND APPROXIMATELY 600FT DUE SOUTH OF SITE). THIS REGIONAL POND WAS DESIGNED AND APPROVED BY THE COUNTY IN 2016 AND BUILT IN 2016 (BY OTHERS). THE ASSUMED IMPERVIOUS RATE FOR AREAS WITHIN THE DRAINAGE BASIN WAS 72%. THE PROPOSED IMPERVIOUS RATE IS 63%.



1
2
3
4
5
6

W. SETH DEAN  
 NOT FOR CONSTRUCTION  
 STATE OF MISSISSIPPI  
 10-25-2018

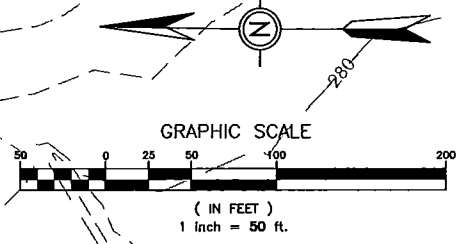
No.	Description	Date

OWNER:  
 STORAGE PARK DEVELOPMENT INC.  
 40 NORTHTOWN DRIVE  
 JACKSON, MS 39211

STORAGE MAX  
 SHEET TITLE:  
 POST-DEVELOPMENT DRAINAGE MAP

JOB NO.: 18-10-01  
 DATE: 25 OCT 2018  
 SCALE: AS SHOWN  
 DRAWN BY: WSD  
 REVIEWED BY: WSD

SHEET NUMBER:  
 DA-POST




# HARRELD & HUTCHINSON REGIONAL STORMWATER DETENTION DEVELOPMENT PREPARED BY ENGINEERING SERVICE

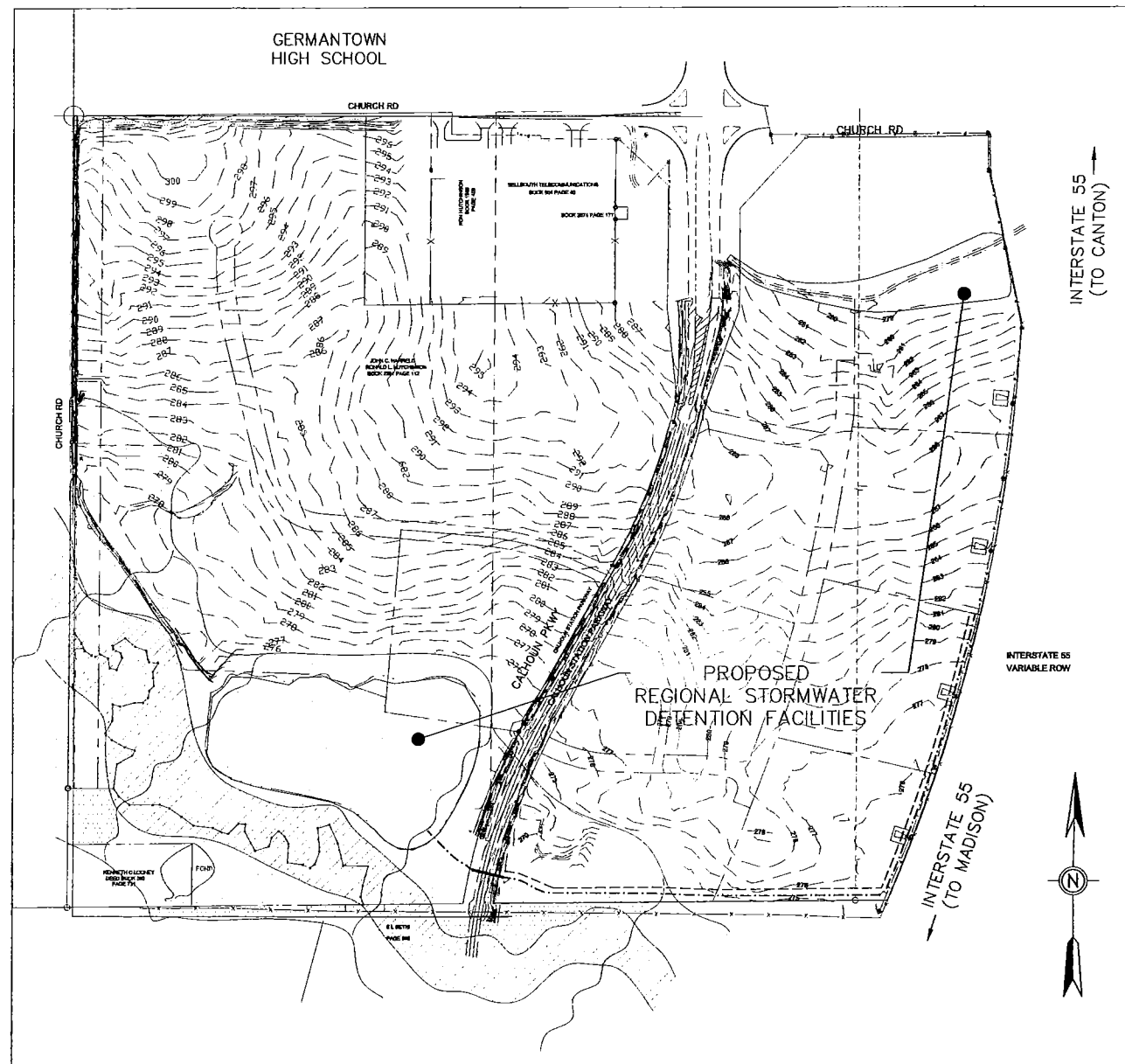
PLEASE INVESTIGATE,  
BEFORE YOU EXCAVATE

CALL  
MISSISSIPPI ONE-CALL  
SYSTEM, INC.

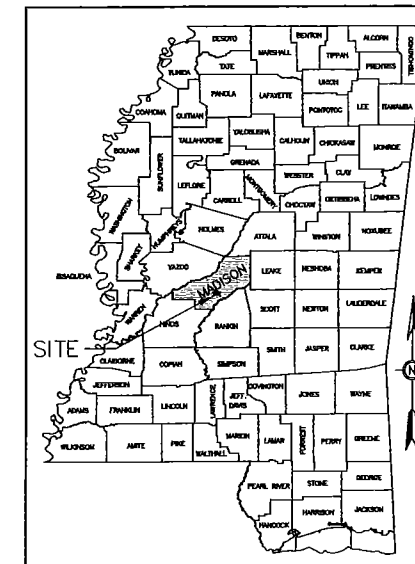
IT COULD SAVE YOUR LIFE!



Local Jackson Areas 362-4374  
Statewide 1-800-227-6477



PROJECT AREA MAP  
1" = 250'



PROJECT VICINITY MAP  
NTS

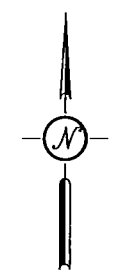
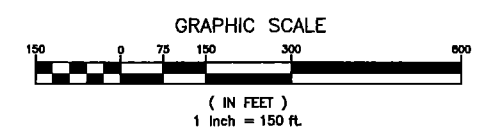
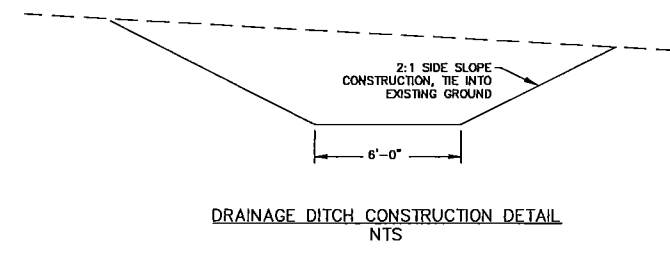
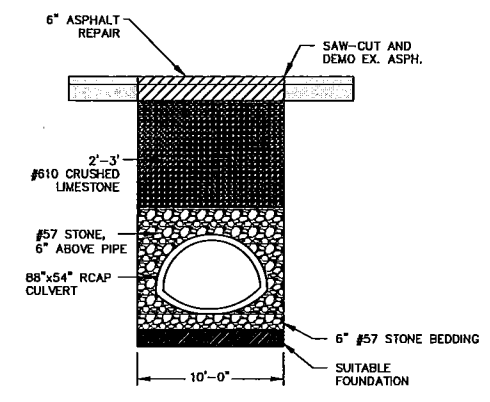
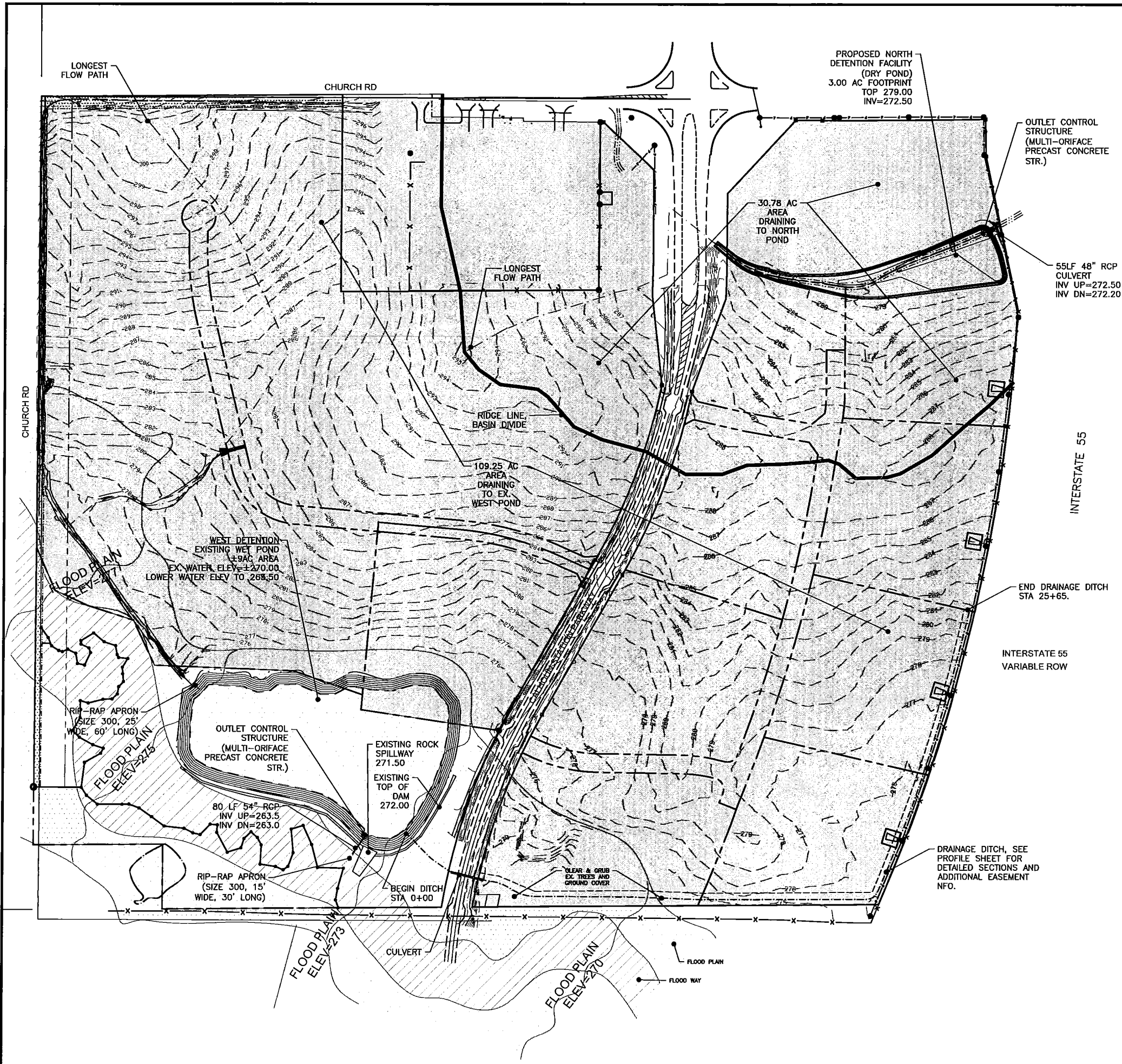
## TABLE OF CONTENTS:

1. COVER
2. PROPOSED CONSTRUCTION PLAN
3. DITCH PLAN, PROFILE & SECTIONS
4. TRAFFIC CONTROL PLAN



CONSULTING ENGINEERS  
RICHLAND - JACKSON - PHILADELPHIA - MOBILE





NO.	DATE	REVISIONS

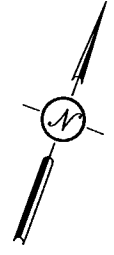
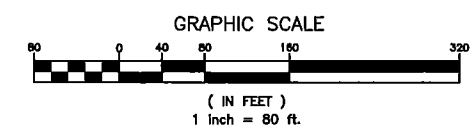
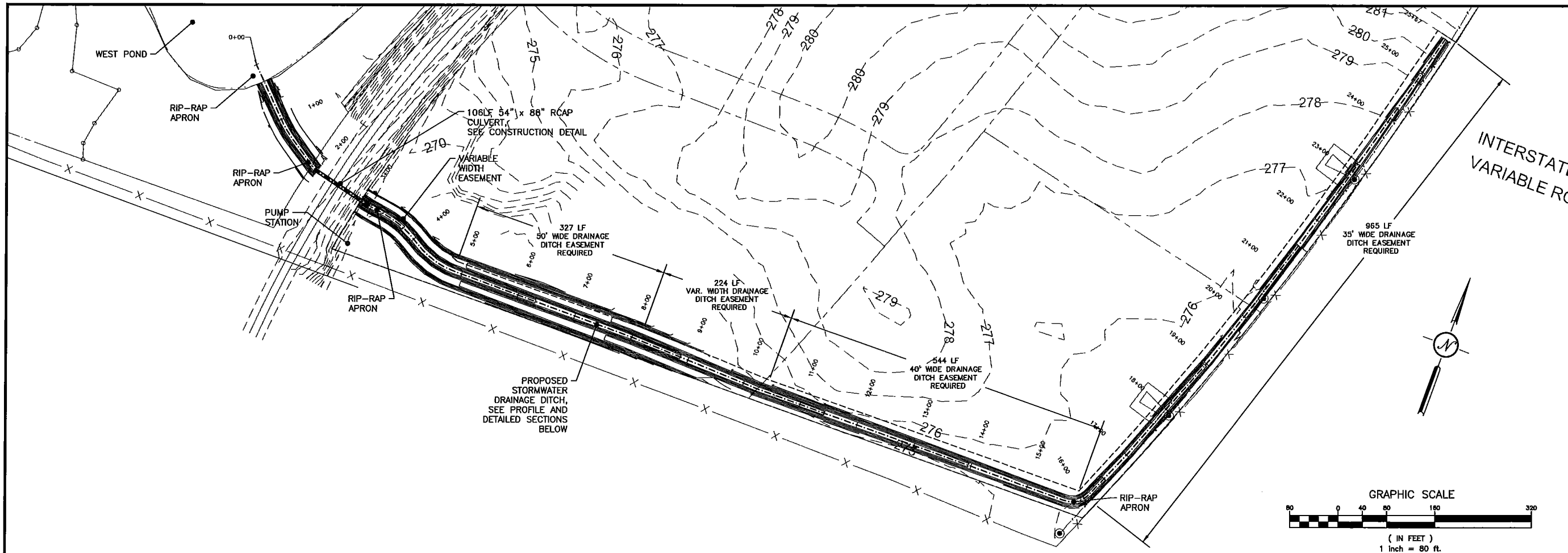
DESIGNED BY	REVIEWED BY	DATE	REVISIONS

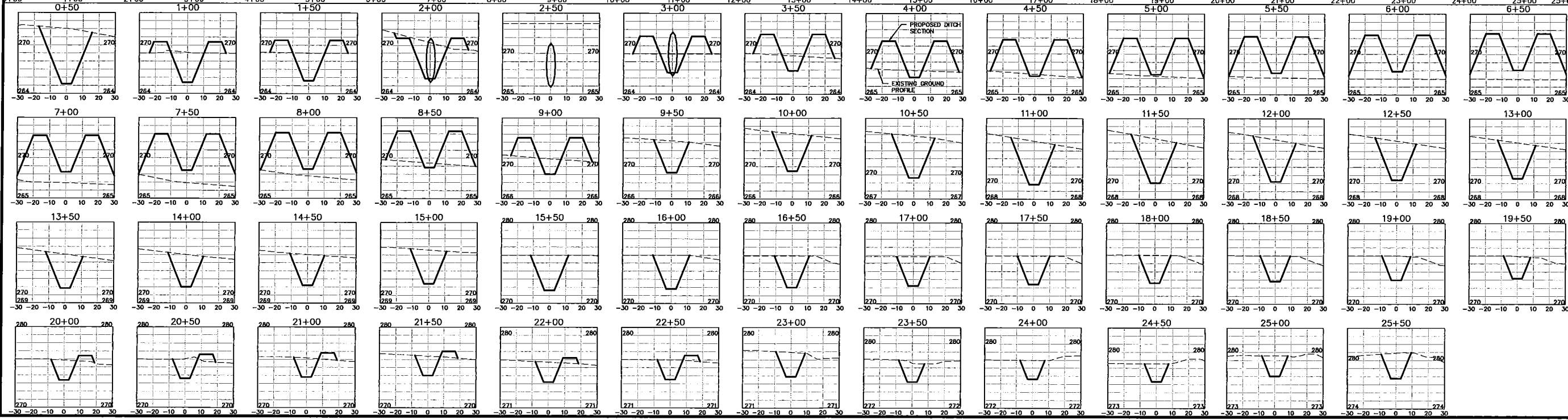
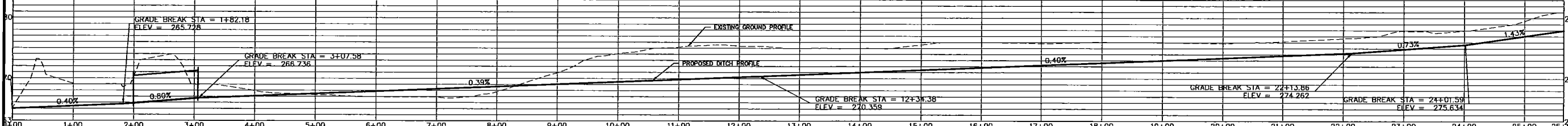
ENGINEERING SERVICE	CONSULTING ENGINEERS
REGISTERED PROFESSIONAL ENGINEERS	MEMBER

OWNER	HARRELD & HUTCHINSON MADISON COUNTY, MISSISSIPPI
PROJECT	REGIONAL STORMWATER RETENTION DEVELOPMENT
TITLE	PROPOSED CONSTRUCTION PLAN
SHEET	1

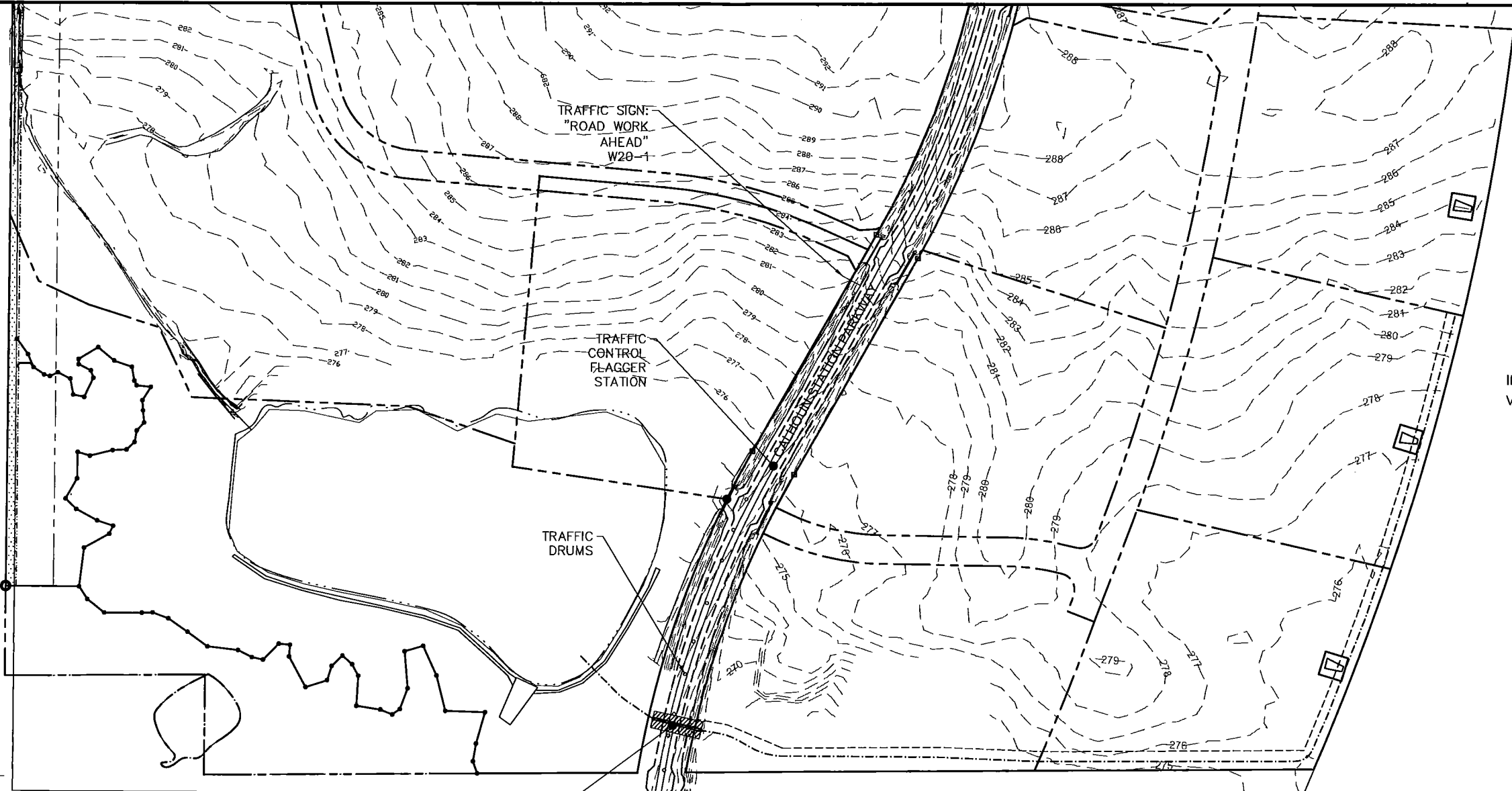


PROPOSED STORMWATER DITCH PROFILE



DESIGNED BY W.S.D.	REVIEWED BY E.A.S.	DATE FEB 2016	DESCRIPTION REVISIONS
OWNER <b>HARRELD &amp; HUTCHINSON</b> MADISON COUNTY, MISSISSIPPI			
PROJECT <b>REGIONAL STORMWATER</b> <b>RETENTION DEVELOPMENT</b>			
TITLE <b>DITCH PLAN, PROFILE &amp; SECTIONS</b>			
SHEET <b>3</b>			

CHUR



INTERSTATE 55  
VARIABLE ROW

ROAD WORK ZONE,  
PIPE CROSSING  
CONSTRUCTION

TRAFFIC  
DRUMS

TRAFFIC  
CONTROL  
FLAGGER  
STATION

TRAFFIC SIGN:  
"ROAD WORK  
AHEAD"  
W20-1

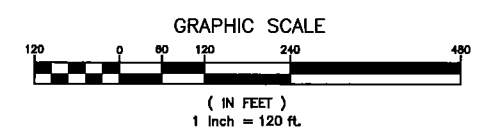
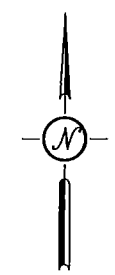
TRAFFIC  
DRUMS

TRAFFIC  
CONTROL  
FLAGGER  
STATION

TRAFFIC SIGN:  
"ROAD WORK AHEAD"  
W20-1

**TRAFFIC CONTROL NOTES**

1. CONSTRUCTION SEQUENCE: CONTRACTOR SHALL KEEP ONE LANE OF TRAFFIC OPEN AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL PHASE CONSTRUCTION SO THAT THIS MAY BE ACHIEVED.
2. ADDITIONAL ADVANCED WARNING SIGNS MAY BE NECESSARY.
3. CONTRACTOR SHALL INSTALL TRAFFIC CONTROL DEVICES SUCH AS CONES, DRUMS, FLASHERS, BARRICADES, SIGNS, ETC., TO SAFELY CHANNEL OR DIRECT TRAFFIC. WHEN NECESSARY, FLAGGERS SHALL BE USED IN CONJUNCTION WITH TRAFFIC CONTROL DEVICES (FLAGGER AHEAD SIGN REQUIRED IN ADVANCE OF FLAGGERS EXCEPT DURING BRIEF PERIODS OR EMERGENCY SITUATIONS.)
4. TRAFFIC CONTROL DEVICES SHALL BE INSTALLED WHENEVER NECESSARY, REMAIN IN PLACE ONLY AS LONG AS THEY ARE NEEDED, AND REMOVED IMMEDIATELY THEREAFTER.
5. THESE ARE MINIMUM REQUIREMENTS AND IN NO WAY RELIEVE THE CONTRACTOR OF THEIR OBLIGATION TO MAINTAIN TRAFFIC IN A SAFE MANNER.
6. CONTRACTOR SHALL ADHERE TO THE MUTCD FOR DETAILS ON CORRECT PLACEMENT AND INSTALLATION OF BARRICADES AND SIGNS.



REV.	BY	DATE	DESCRIPTION



DESIGNED BY	REVIEWED BY	DATE
	E.A.S.	FEB 2016
DRAWING SCALE		
SHEET		

OWNER  
HARRELD & HUTCHINSON  
MADISON COUNTY, MISSISSIPPI

PROJECT  
REGIONAL STORMWATER  
RETENTION DEVELOPMENT

TITLE  
TRAFFIC CONTROL PLAN



1 NORTH ELEVATION  
A201 SCALE: 1/8"=1'-0"

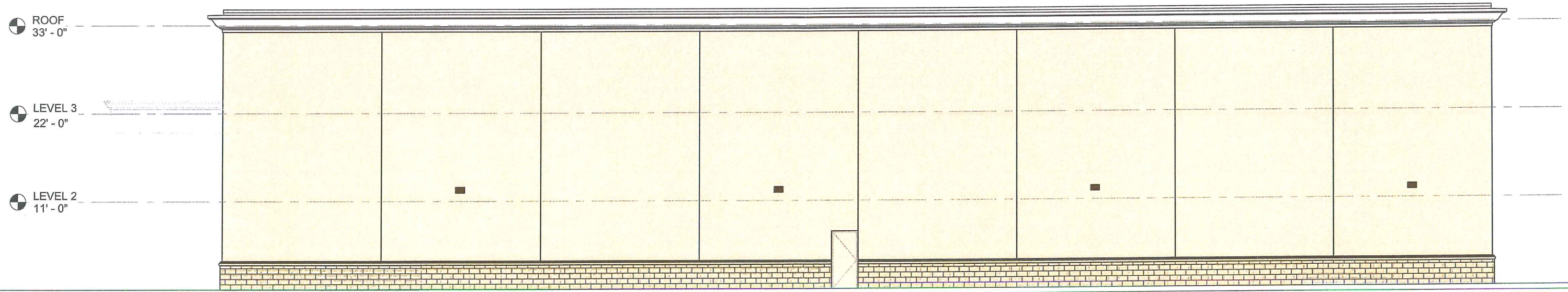


2 EAST ELEVATION  
A201 SCALE: 1/8"=1'-0"

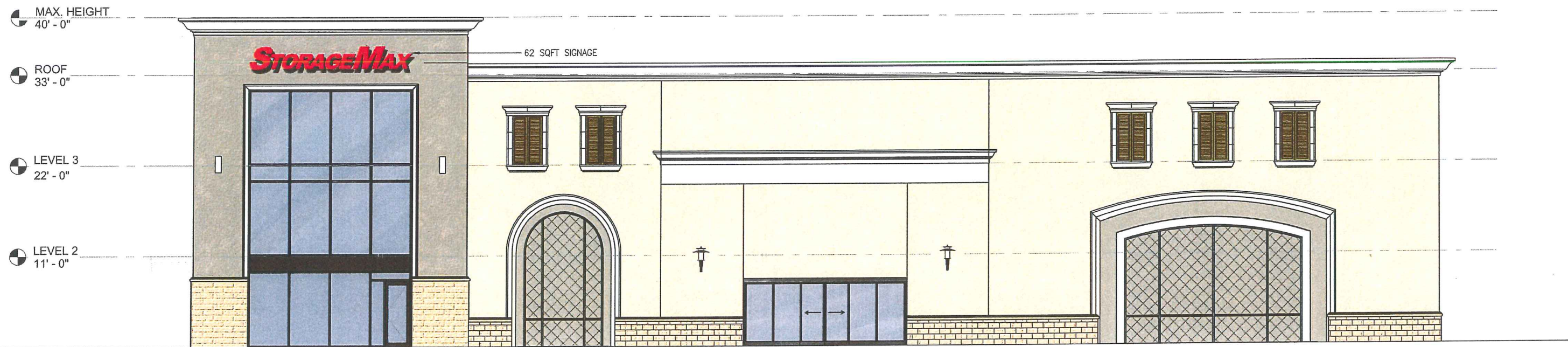
**STORAGEMax**<sup>TM</sup>

*Have you reached your Max?*

GLUCKSTADT, MS



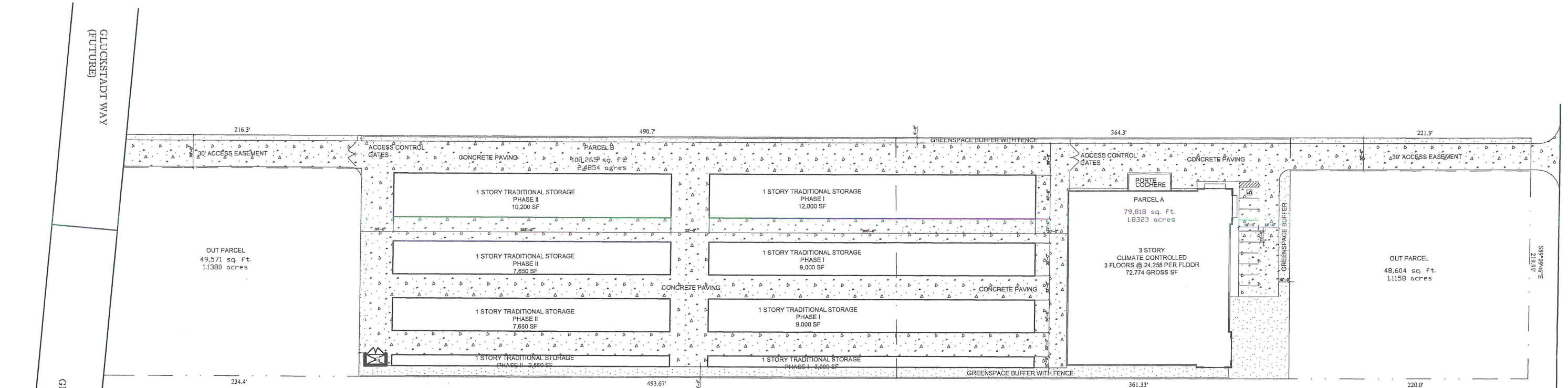
3 SOUTH ELEVATION  
 A201 SCALE: 1/8"=1'-0"



4 WEST ELEVATION  
 A201 SCALE: 1/8"=1'-0"

**STORAGEMAX**<sup>TM</sup>  
*Have you reached your Max?*

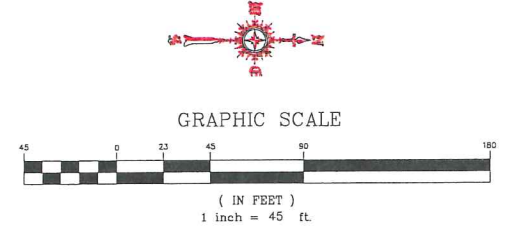
GLUCKSTADT, MS



**SITE PLAN NOTES:**

1. ACCESS WAYS, PARKING, AND DRIVES TO BE CONCRETE
2. 10 PARKING SPACES SHOWN - 10FT x 18FT
3. (2) ACCESS EASEMENTS NOTED
4. 5FT AND 10FT LANDSCAPE BUFFER AS SHOWN AND NOTED
5. ENTIRE SITE TO BE FENCED AND LANDSCAPED
6. COMBINED LOT COVERAGE: 57,258 SF (PHASE I) + 28,050 SF (PHASE II) = 45%

**PROPOSED**  
**STORAGEMAX**  
 GLUCKSTADT  
 MADISON COUNTY, MISSISSIPPI



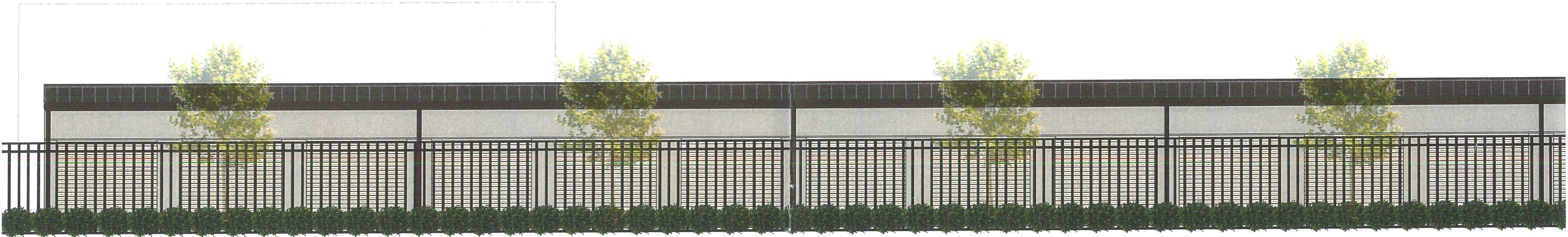


West Elevation - 1 Story Building

**STORAGE MAX**<sup>TM</sup>

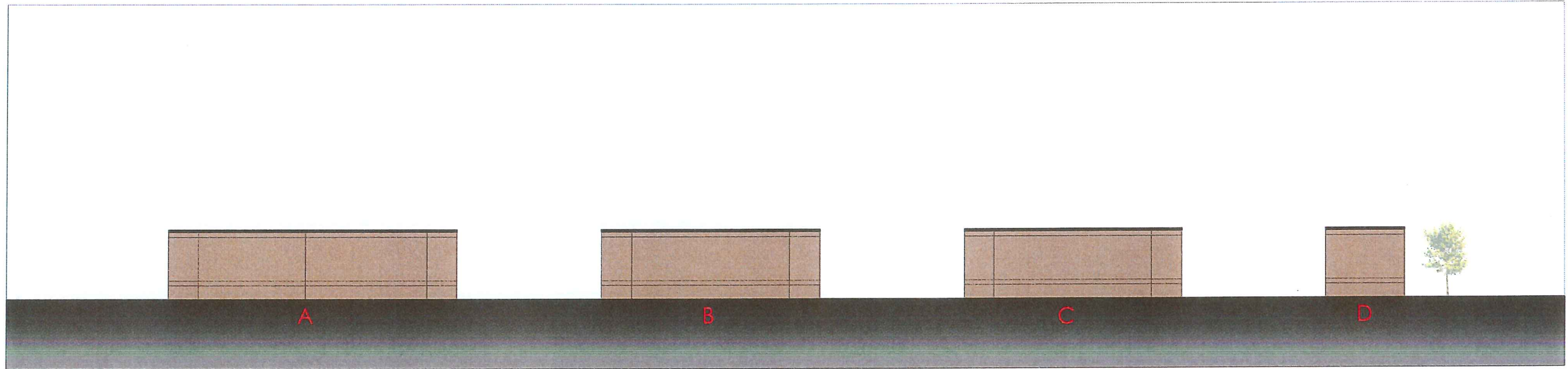
*Have you reached your Max?*

GLUCKSTADT, MS

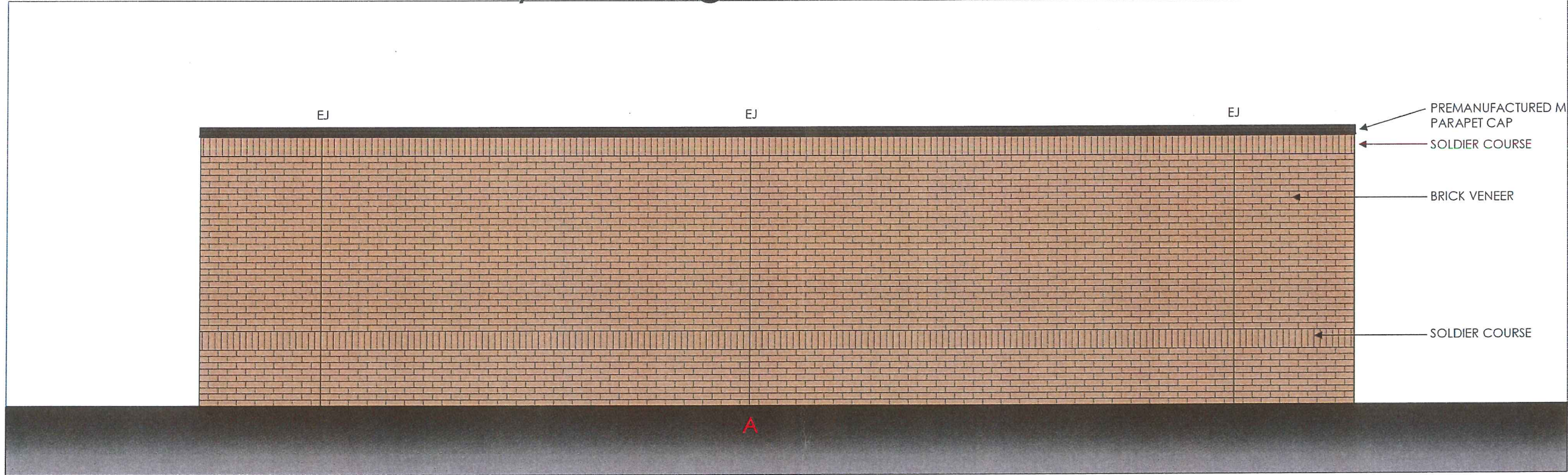


West Elevation





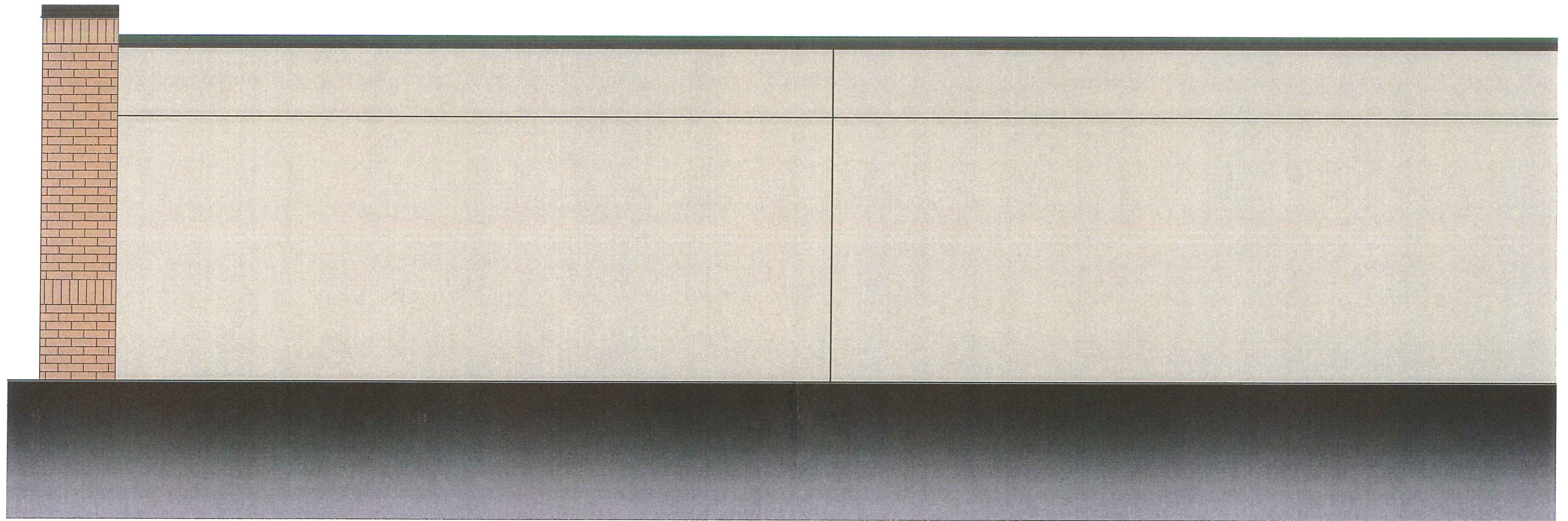
South Elevation - 1 Story Buildings



Enlarged South Elevation - 1 Story Building

**STORAGE MAX**<sup>TM</sup>  
*Have you reached your Max?*

GLUCKSTADT, MS



East Elevation - 1 Story Building

**STORAGE MAX**<sup>TM</sup>

*Have you reached your Max?*

GLUCKSTADT, MS